

HARTSVILLE/TROUSDALE COUNTY PLANNING COMMISSION

*John Kerr – Chair
David Thomas – Vice Chair
Amanda Carman – Sec*

*Heather Bay
Katie Dillion
Mitch Gregory*

*Author "AB" Harper
David Nollner
Cal Welch*

AUGUST 12, 2024 | 7:00PM | TC COURTHOUSE

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

Regular meeting July 8, 2024

APPROVAL/CHANGES TO THE AGENDA

PUBLIC HEARING

OLD BUSINESS

NEW BUSINESS

REZONE

- Rezone request by Johnny and Linda Adcock 1 acre from A1 to R1 at 1415 Crenshaw RD HV TN (Map 15 Parcel 037.00) of 205 acres to allow granddaughter to build in the 5th Civil District

SITE PLAN REVIEW

- Site Plan for a new Education Building at TCAT-Hartsville 716 E McMurry Blvd HV TN (Map 27D B Parcel 20.00) approved by State of Tennessee in the 7th Civil District
- Site Plan for 10 Townhome unit multifamily development by Justin Trent Maasen at 680 River Valley (Map 027G B Parcel 27.00) in the 7th Civil District
- Site Plan for 12 Apartment unit development by Tracey and Angie Langford on Greentop St (Map 027B D Parcels 11.00, 12.00, 13.00, 14.00, 15.00) in the 7th Civil District

DISCUSSION

- RV length of stay
- Food Trucks- Regulation outline

REPORT FROM CHAIRMAN

REPORT FROM PLANNING OFFICE

CLOSING REMARKS

ADJOURN

\$350 APPLICATION FEE

\$150 SIGN DEPOSIT

HARTSVILLE/TROUSDALE COUNTY

PLANNING OFFICE

328 Broadway, Room 1 | Hartsville, TN 37074

Office (615) 374-1125 | Cell (615) 374-5066

planning@trousdalecountytn.gov

ZONING CHANGE APPLICATION

MR# 217

7-23-24

RP

PARCEL INFORMATION

Current Zoning A1 Requested Zoning R1 Reason Granddaughter to build house

Property Owner Johnny & Linda Adcock Phone [REDACTED]

Property Address 1415 Crenshaw Rd., Hartsville TN 37074

Lot Size 1 acre Road Frontage 200 ft. Easements 0 ft

Tax Map Number 15 Group n/a Parcel 037.00 Record/Deed Book 24/261

Subdivision Name Adcock Property Phase n/a Lot # 1

Water Source Hartsville Sewer or Septic Septic

APPLICANT INFORMATION

Applicant Name Linda Adcock Phone [REDACTED]

Mailing Address 1415 Crenshaw Rd., Hartsville TN 37074

Email: applicant has no email; contact jackie.dillehay@gmail.com if needed

IMPACT INFORMATION

Zoning of Surrounding Properties A1 - Agriculture Forestry

Names of Surrounding Property Owners Jack Carey, Jr.

Affected Roads Crenshaw Rd.

Schools Affected Trousdale County

Public Utilities Hartsville Water

[REDACTED SIGNATURE]
Applicant Signature

7-24-24
Date Submitted

ACTION TAKEN

Reviewed by Planning Commission _____ Action _____

Reviewed by BZA _____ Action _____

Zoning Ordinance at County Commission _____

1st Reading _____ Action _____

Public Hearing _____ Action _____

2nd Reading _____ Action _____

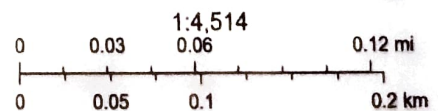
Passed _____ Failed, state reason _____

Trousdale County - Parcel: 015 037.00



Date: July 23, 2024

County: Trousdale
Owner: ADCOCK JOHNNY G SR
Address: CRENSHAW RD 1415
Parcel Number: 015 037.00
Deeded Acreage: 0
Calculated Acreage: 205
Date of TDOT Imagery: 2021
Date of Vexcel Imagery: 2023



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The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

MK# 259
7-26-24

HARTSVILLE/TROUSDALE COUNTY
PLANNING OFFICE | CODES, ZONING, AND BUILDING (B)

328 Broadway, Room 1 | Hartsville, TN 37074
office (615) 374-1125 | cell (615) 374-5066
htcgplanning@trousdalecountytn.gov

- SITE PLAN APPLICATION - \$250.00
- MINOR SUBDIVISION APPLICATION - \$250.00
(5 lots or less)
- PLAT AMENDMENT APPLICATION - 200.00
- MAJOR SUBDIVISION APPLICATION - \$500.00

PARCEL INFORMATION

Property Owner State of Tennessee Phone [REDACTED]

Property Address 716 E. McMurry Blvd. City Hartsville TN Zip code 37074

Tax Map Number 27D Group B Parcel 20.00 Record/Deed Book A1/471

Subdivision Name N/A Phase N/A Lot# N/A

Water Source Hartsville/Trousdale W&S Sewer or Septic Sewer-Private

APPLICANT INFORMATION

HADDLESTON - STEELE ENGINEERING

Applicant Name Johnnie H. Leonard III Phone [REDACTED]

Mailing Address 2115 NW Broad Street City Murfreesboro TN Zip code 37129

Email [REDACTED]

[REDACTED SIGNATURE]

07/26/2024

Applicant Signature

Date Submitted

IMPACT INFORMATION

Public Utilities Hartsville WATER, Tri County Electric

Affected Roads McMURRY BLVD

Schools Affected TCAT- HARTSVILLE

ACTION TAKEN

Reviewed by Planning Commission _____ Action _____



TCAT
HARTSVILLE

orcutt | winslow

REEVES
+ YOUNG

SSR

TTC
WORLDWIDE ENGINEERING

HS HUDDLESTON-STEELE
ENGINEERING, INC.



TCAT
HARTSVILLE

orcutt | winslow

REEVES
+ YOUNG

SSR

TRC
WORLDWIDE ENGINEERING

HS HUDDLESTON-STEEL
ENGINEERING, INC.



TCAT
HARTSVILLE

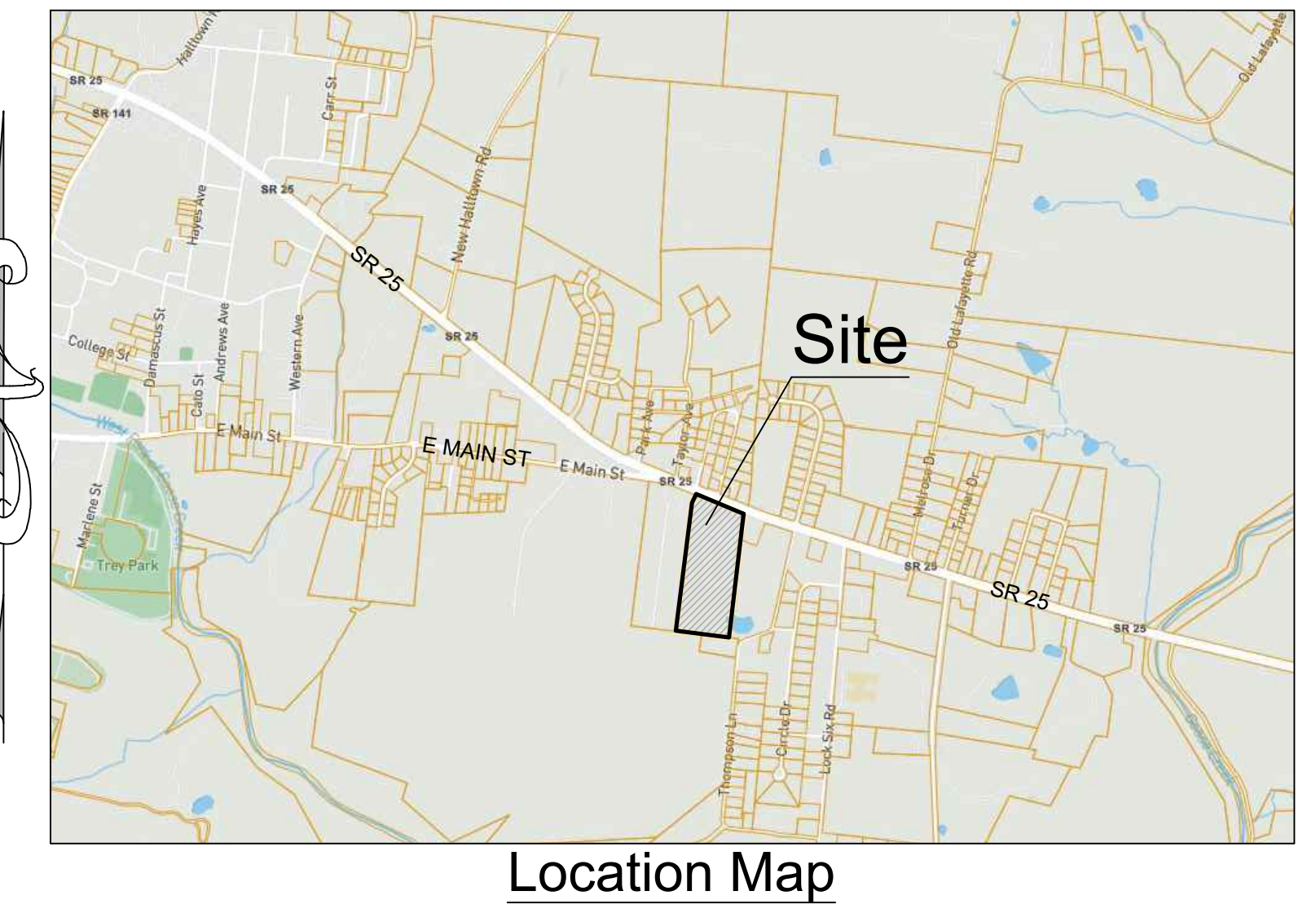
orcutt | winslow

REEVES
+ YOUNG

SSR

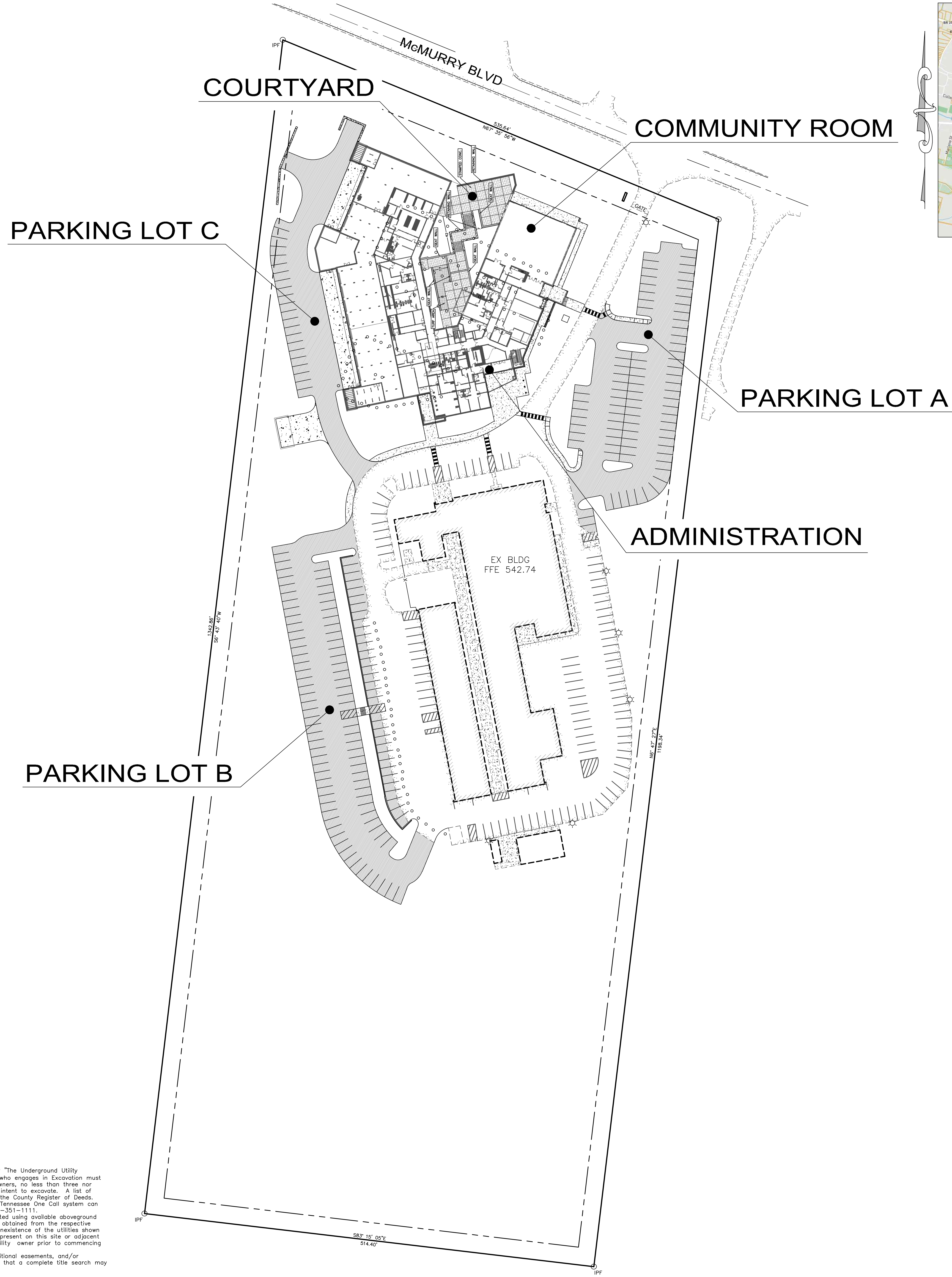
TTC
WORLDWIDE ENGINEERING

HS HUDDLESTON-STEEL
ENGINEERING, INC.



Location Map

orcutt | winslow
 8016 Centennial Blvd
 Third Floor
 Knoxville, TN 37920
 615.298.2525 f
 www.owp.com



COURTYARD

COMMUNITY ROOM

PARKING LOT C

PARKING LOT A

ADMINISTRATION

PARKING LOT B

EX BLDG
 FFE 542.74

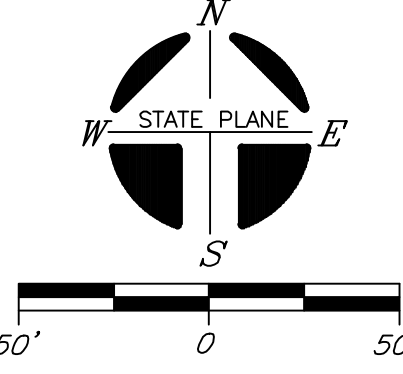
LEGEND

⊙	Power Pole
⊙	Existing Fire Hydrant
◆	Proposed Fire Hydrant
△	Reducer
⊙	Water Valve
⊙	Water Meter
▲	Concrete Thrust Block
—W—	Existing Water Line
—W—	Proposed Water Line
—S—	Existing Sanitary Sewer Line
—S—	Proposed Sanitary Sewer Line
—SD—	Existing Stormwater
CB	Existing Catch Basin
⊙	Existing Manhole
⊙	Proposed Manhole
—CD—	Sewer Line Check Dam
—CD—	Existing Contours
—CD—	Proposed Contours
⊙	Existing Spot Elevations
⊙	Proposed Spot Elevations
—SF—	Siltation Fence
—SF—	(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
—SF—	Siltation Fence (Initial Measure)
—SF—	Siltation Fence (Once Constructed)
—T—	Turf Reinforcement Mat
—SCD—	Stone Check Dam

LEGEND

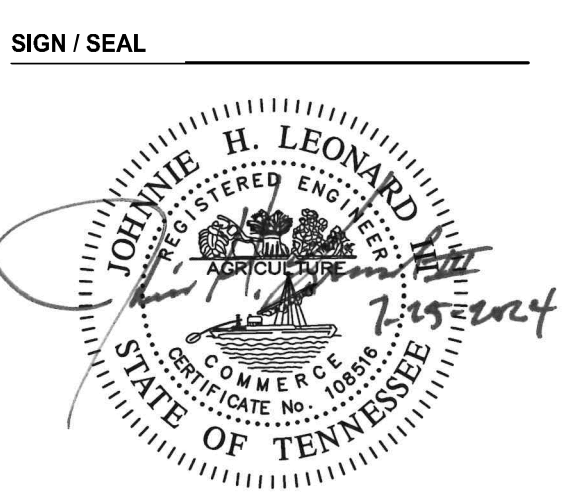
⊙	IRON PIN SET (1/2" REBAR WITH STAMPED W-C DINGS)
⊙	IRON PIN FND.
⊙	CONC. ANCHORMENT FOUND
—	FENCE

- Notes:**
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HUDDLESTON-STEELE ENGINEERING INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 893 - 4084, FAX: 893 - 0080

TENNESSEE BOARD OF REGENTS
TCAT HARTSVILLE - MAIN CAMPUS
 New Admin & Academic Bldg. and New Technical Bldg.
 716 McMurry Blvd E / Hartsville, TN 37074 | TENNESSEE BOARD OF REGENTS #166/050-01-2023



OWP PROJECT NO.	DATE OF ISSUE
2023_256	04/24/2024
PROJECT PHASE / ISSUED FOR	
Development Package	
REVISIONS	
DELTA DESCRIPTION	DATE

PROJECT TEAM
 HUDDLESTON-STEEL ENGINEERING, INC.
DRAWN BY
 CHRIS GREGORY

SHEET CONTENTS / TITLE
 MASTER PLAN

C0.0
 AGENCY NO.

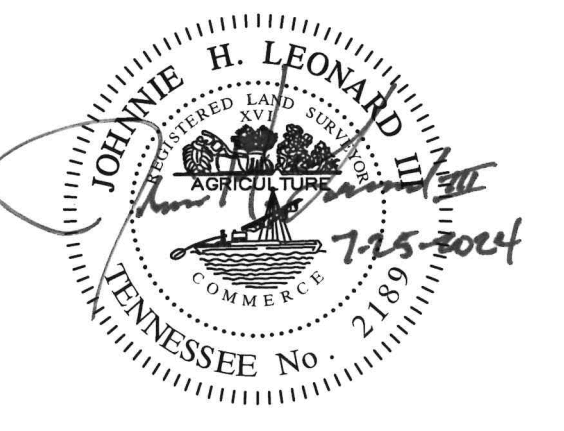


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 8016 Centennial Blvd
 Third Floor
 Nashville, TN 37209
 615.298.2523 f
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SIGN / SEAL



THIS SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

OWP PROJECT NO. 2023_256 DATE OF ISSUE 04/24/2024

PROJECT PHASE / ISSUED FOR Development Package

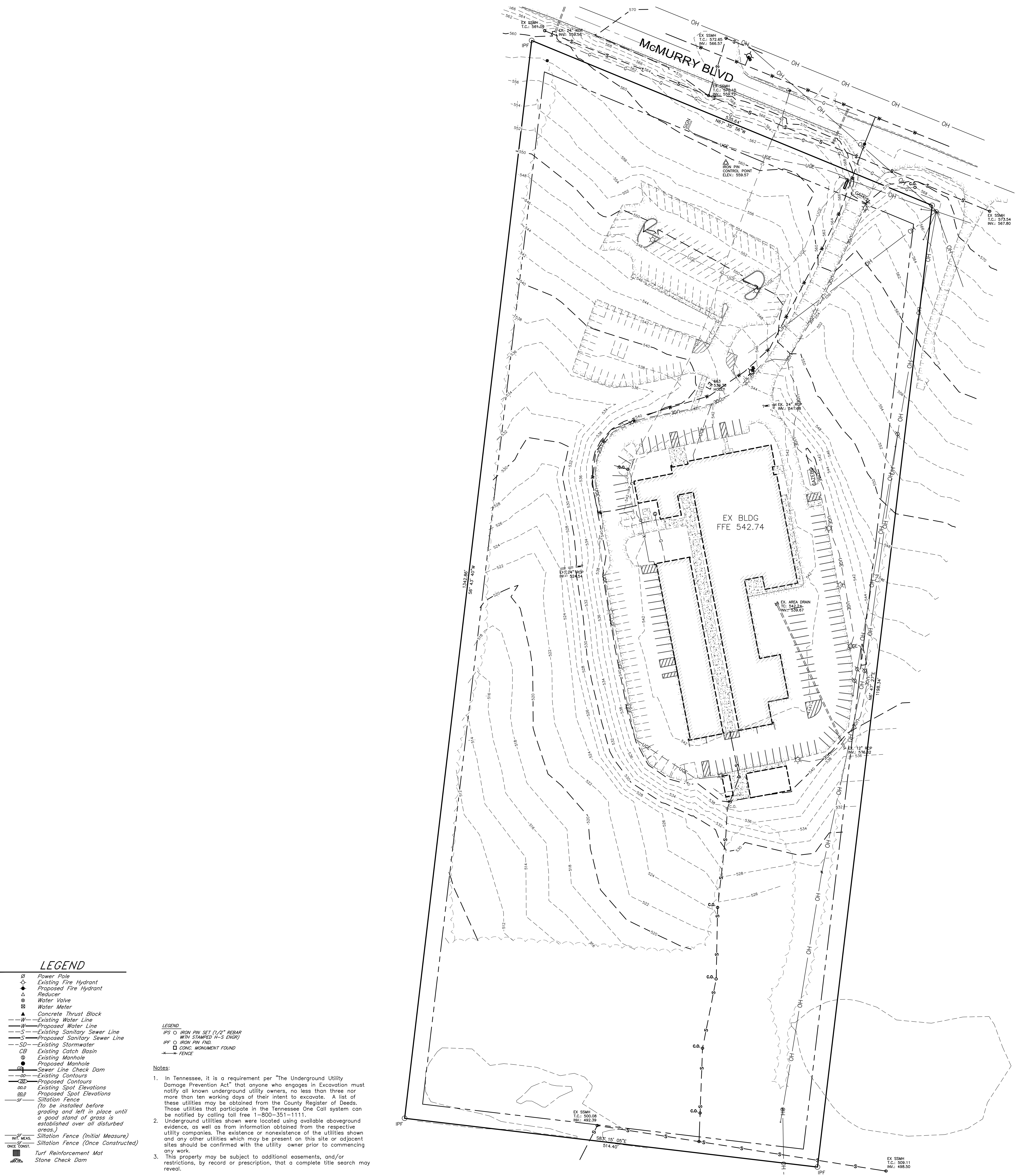
REVISIONS
 DELTA DESCRIPTION DATE

PROJECT TEAM HULLLESTON-STEEL ENGINEERING, INC. DRAWN BY CHRIS GREGORY

SHEET CONTENTS / TITLE EXISTING CONDITIONS

C1.0

AGENCY NO.



- LEGEND**
- Power Pole
 - Existing Fire Hydrant
 - ◆ Proposed Fire Hydrant
 - △ Reducer
 - ⊙ Water Valve
 - ⊕ Water Meter
 - ▲ Concrete Thrust Block
 - W— Existing Water Line
 - W— Proposed Water Line
 - S— Existing Sanitary Sewer Line
 - S— Proposed Sanitary Sewer Line
 - SD— Existing Stormwater
 - CB Existing Catch Basin
 - ⊙ Existing Manhole
 - ⊙ Proposed Manhole
 - SD— Sewer Line Check Dam
 - C— Existing Contours
 - C— Proposed Contours
 - o.o.o Existing Spot Elevations
 - 88.9 Proposed Spot Elevations
 - SF— Siltation Fence
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
 - SF— Siltation Fence (Initial Measure)
 - SF— Siltation Fence (Once Constructed)
 - T— Turf Reinforcement Mat
 - SCD— Stone Check Dam

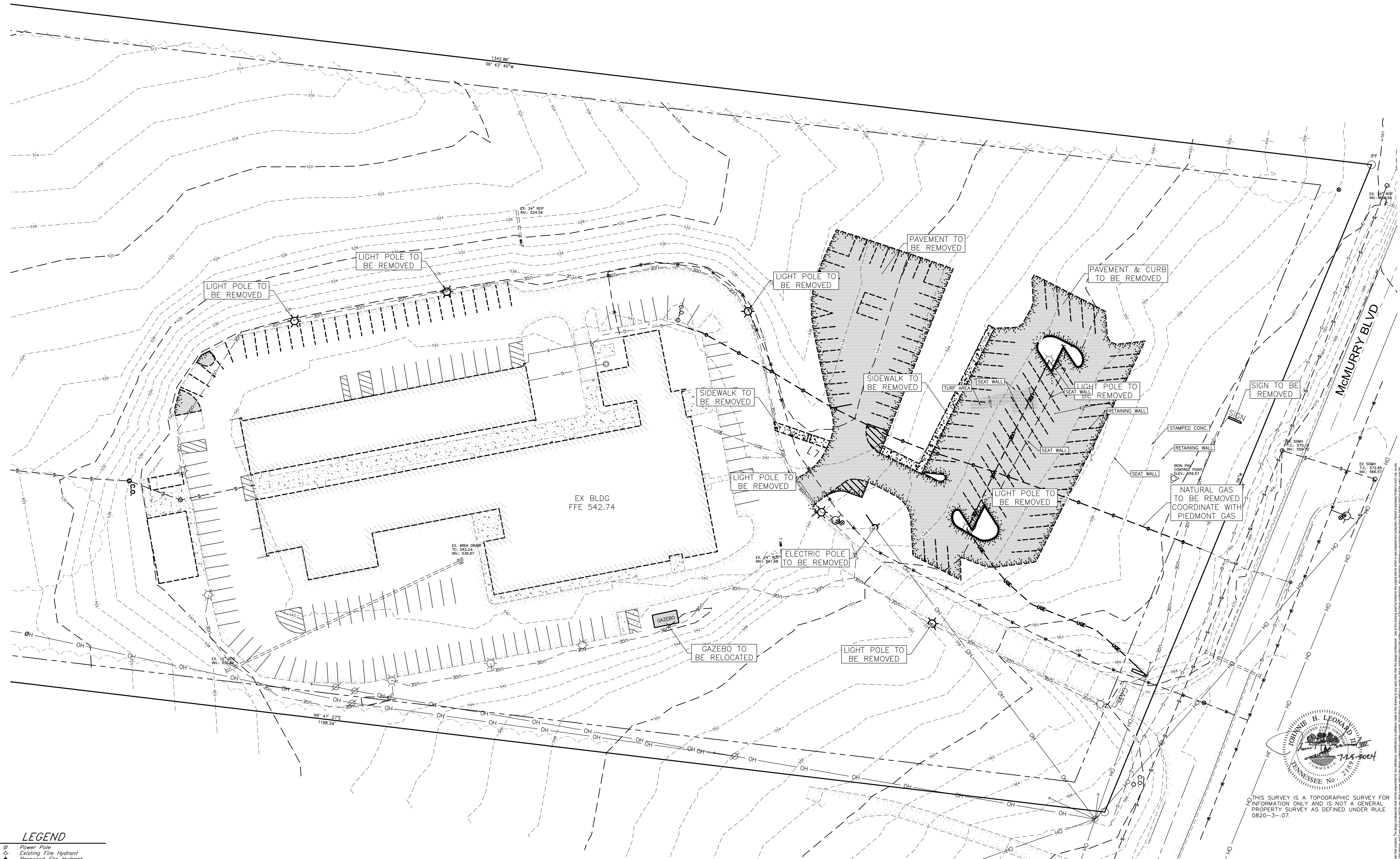
- LEGEND**
- IRON PIN SET (1/2" REBAR WITH STAMPED "H-C-ENGR")
 - IRON PIN FND.
 - CONC. MONUMENT FOUND
 - FENCE
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STATE PLANE
 NORTH
 50' 0 50'

HULLLESTON-STEEL ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 893 - 4084, FAX: 893 - 0080

TCAT HARTSVILLE - MAIN CAMPUS
 New Admin & Academic Bldg. and New Technical Bldg.
 716 McMurry Blvd E / Hartsville, TN 37074 | TENNESSEE BOARD OF REGENTS #166/050-01-2023

TENNESSEE BOARD OF REGENTS



LEGEND

- Power Pole
- Existing Fire Hydrant
- ◆ Proposed Fire Hydrant
- △ Reducer
- ⊙ Water Valve
- ⊙ Water Meter
- ▲ Concrete Thrust Block
- W— Existing Water Line
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- S— Proposed Sanitary Sewer Line
- SD— Existing Stormwater
- CB Existing Catch Basin
- ⊙ Existing Manhole
- ⊙ Proposed Manhole
- S— Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- o Existing Spot Elevations
- o Proposed Spot Elevations
- Sitation Fence
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- Sitation Fence (Once Constructed)
- Turf Reinforcement Mat
- Stone Check Dam

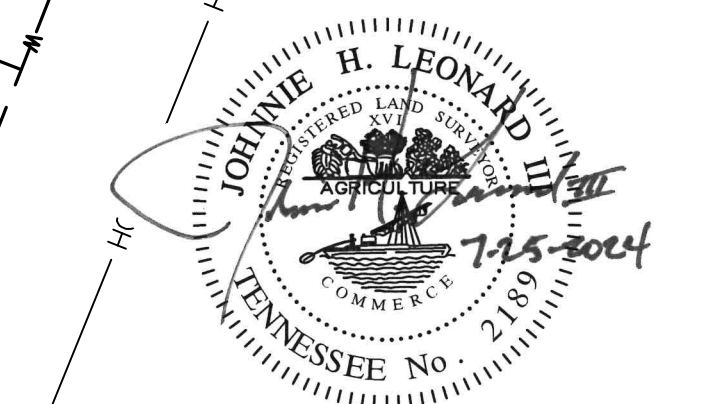
LEGEND

- IRON PIN SET (1/2" REBAR WITH STAMPED "H-C-2000")
- IRON PIN FND.
- CONC. MONUMENT FOUND
- FENCE

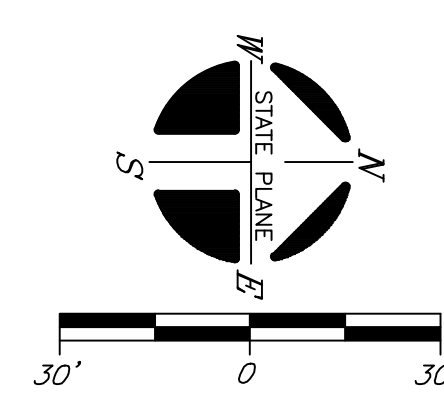
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DEMOLITION NOTES

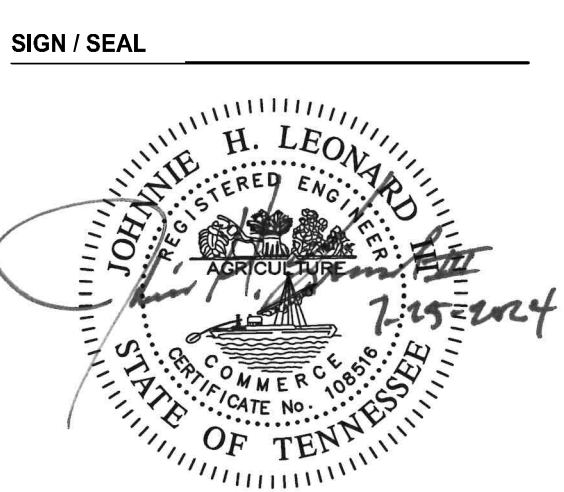
- Coordinate with Architects Demo Plan.
- The scope of the work of this demolition plan shall include the removal of all structures and tree's as outlined by this plan. The contractor shall locate all existing utilities (water, sewer, storm, gas, electric and telephone)
- The contractor shall be responsible for disposal of materials off-site at a location to be selected by the contractor and approved by the architect.
- Demolition to be coordinated with scheduling of work.
- Contractor to contact private utility providers for on site underground utilities as well as TN 811.
- Contractor is responsible for repair to any damage of existing utilities.



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HUSTLESTON-STEEL ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 893 - 4084, FAX: 893 - 0080



OWP PROJECT NO. 2023_256
 DATE OF ISSUE 04/24/2024

PROJECT PHASE / ISSUED FOR Development Package

REVISIONS
 DELTA DESCRIPTION DATE

PROJECT TEAM
 HUSTLESTON-STEEL ENGINEERING, INC.
 DRAWN BY
 CHRIS GREGORY

SHEET CONTENTS / TITLE
 DEMOLITION PLAN

C1.1
 AGENCY NO.

SITE DATA:

TAX MAP: 27D GROUP: B PARCEL: 24.00
 DEED BOOK: A1 PAGE: 471
 CURRENT ZONING: C2 COMMERCIAL HIGHWAY
 SCHOOL ADDRESS: 716 E McMURRY BLVD, HARTSVILLE TN 37074
 FLOOD PANEL: 47169C0044C DATED: 9/29/2010 ZONE: X

SETBACKS: FRONT YARD 30'
 SIDE YARD 20'
 REAR YARD 20'

SITE AREA: 15.03± AC. (8± AC. DISTURBED)

PARKING:

EXISTING PARKING SPACES: 235
 REMOVED PARKING SPACES: 130
 NEW PARKING SPACES: 222
 TOTAL PARKING SPACES: 356

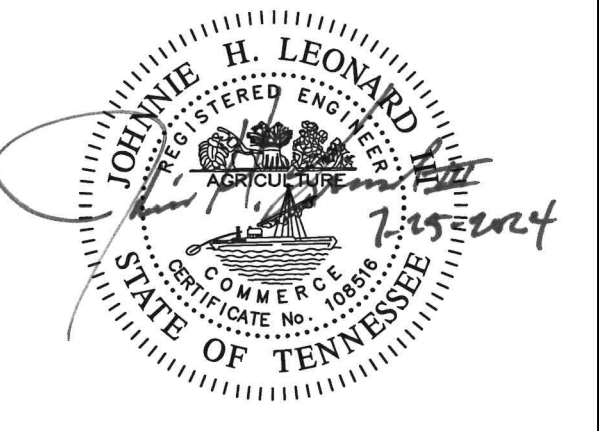
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TENNESSEE BOARD OF REGENTS

SIGN / SEAL



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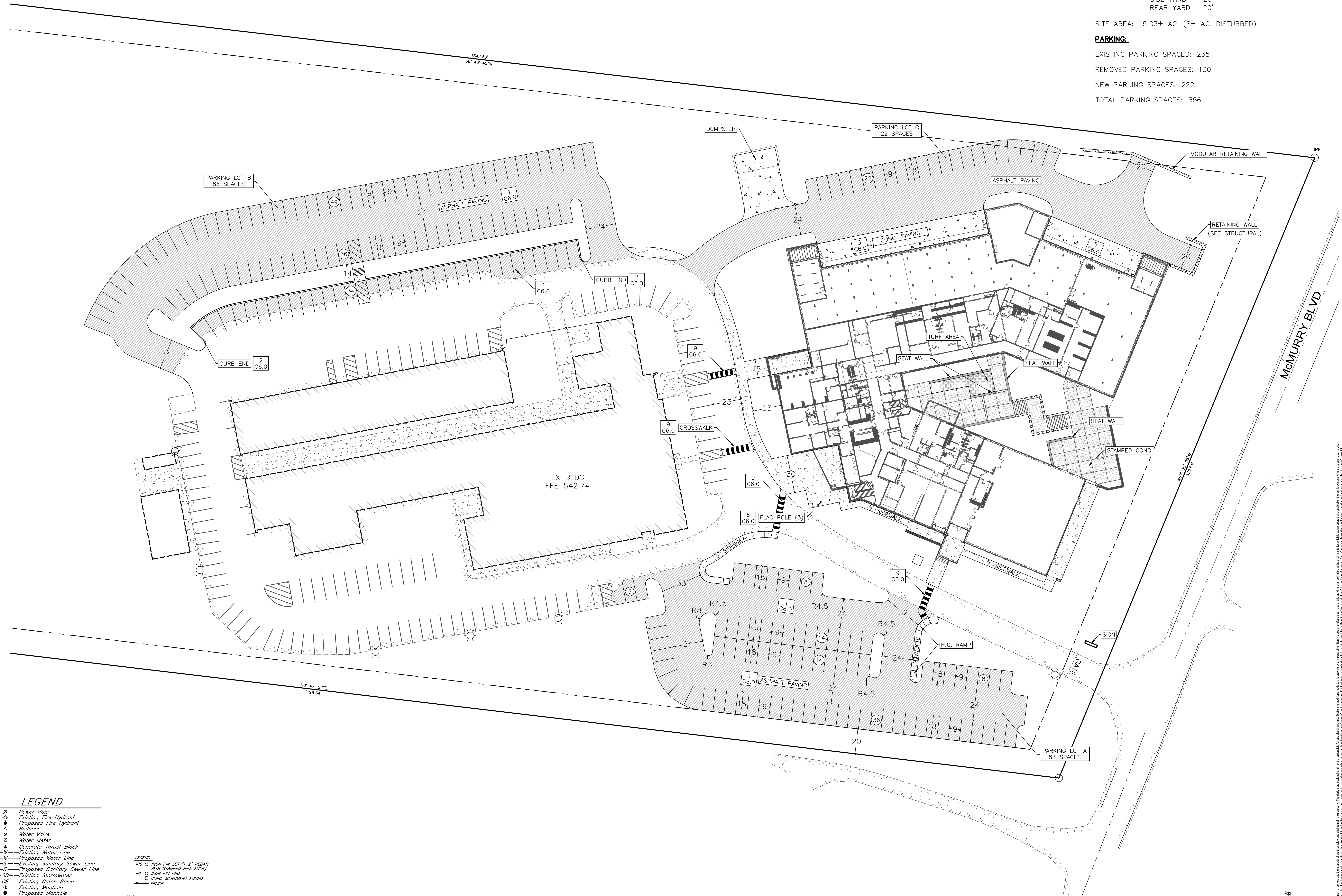
PROJECT TEAM: HUDDLESTON-STEELE ENGINEERING, INC.
 DRAWN BY: CHRIS GREGORY

SHEET CONTENTS / TITLE
 SITE PLAN

C2.0

AGENCY NO.

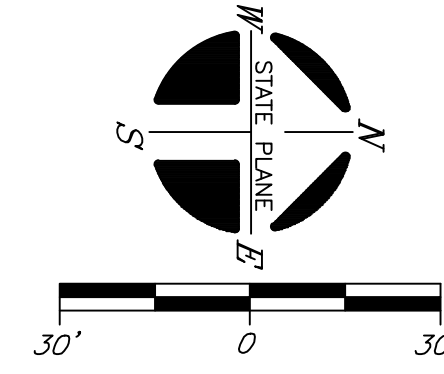
HUDDLESTON-STEELE ENGINEERING, INC.
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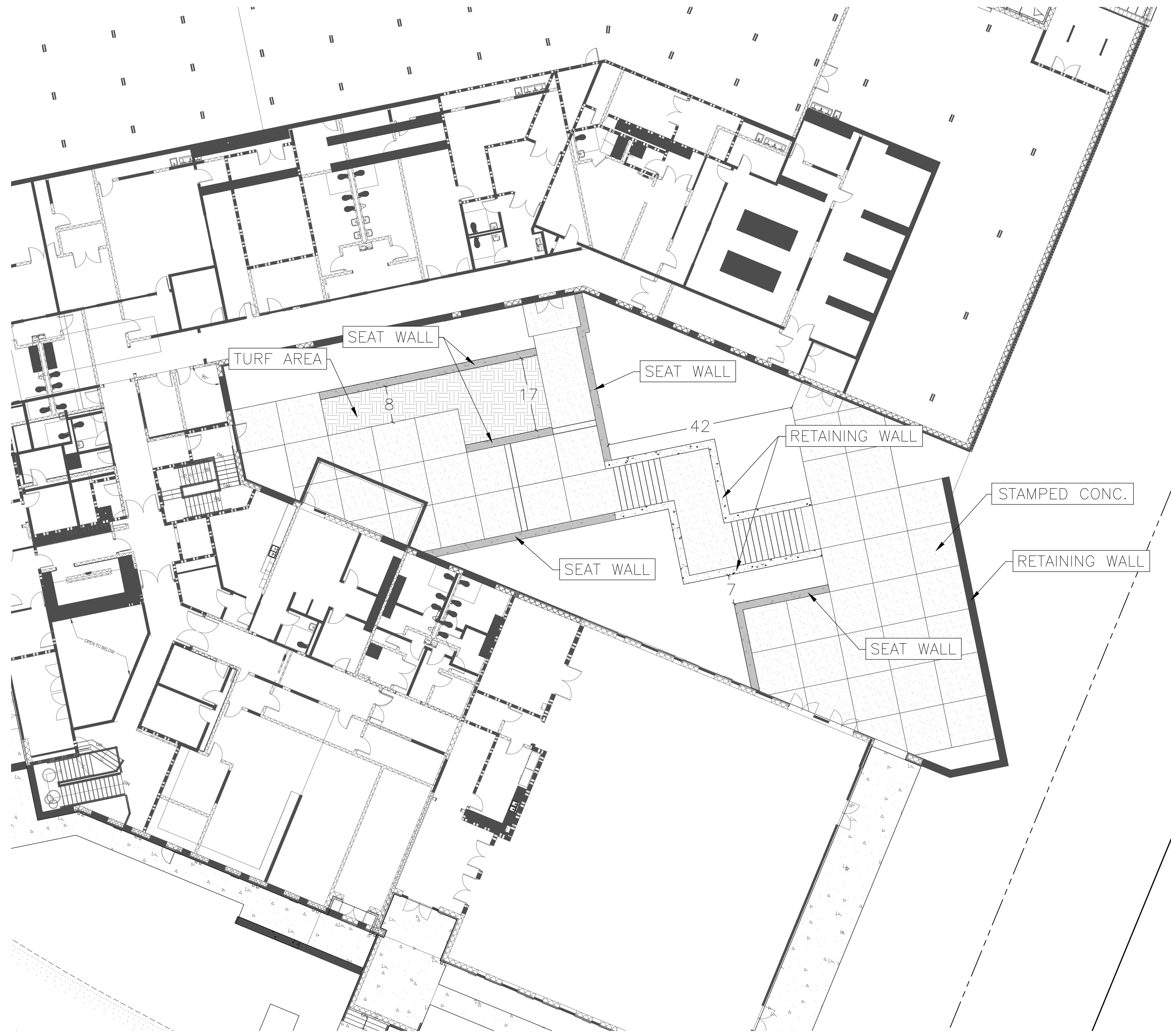


- LEGEND**
- ⊙ Power Pole
 - ⊙ Existing Fire Hydrant
 - ⊙ Proposed Fire Hydrant
 - △ Reducer
 - ⊙ Water Valve
 - ⊙ Water Meter
 - ▲ Concrete Thrust Block
 - W— Existing Water Line
 - W— Proposed Water Line
 - S— Existing Sanitary Sewer Line
 - S— Proposed Sanitary Sewer Line
 - SD— Existing Stormwater
 - CB Existing Catch Basin
 - ⊙ Existing Manhole
 - ⊙ Proposed Manhole
 - SD— Sewer Line Check Dam
 - C— Existing Contours
 - C— Proposed Contours
 - 0.00 Existing Spot Elevations
 - 0.00 Proposed Spot Elevations
 - SF— Siltation Fence
 - (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
 - SF— Siltation Fence (Initial Measure)
 - SF— Siltation Fence (Once Constructed)
 - TRM— Turf Reinforcement Mat
 - SCD— Stone Check Dam

- LEGEND**
- IPF ○ IRON PIN SET (1/2" REBAR WITH STAMPED H.C. LOGO)
 - IPF ○ IRON PIN FND.
 - CONC. MONUMENT FOUND
 - FENCE

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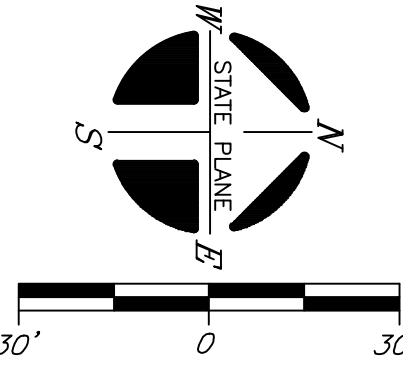
LEGEND

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LEGEND

- ⊙ IRON PIN SET (1/2" REBAR WITH STAMPED W/O LOGO)
- ⊙ IRON PIN FND.
- ⊙ CONC. MONUMENT FOUND
- FENCE

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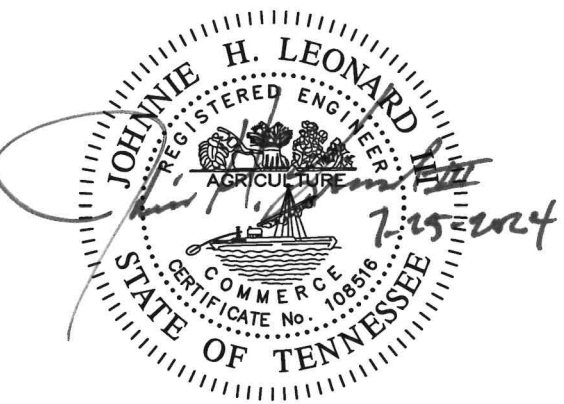


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SIGN / SEAL

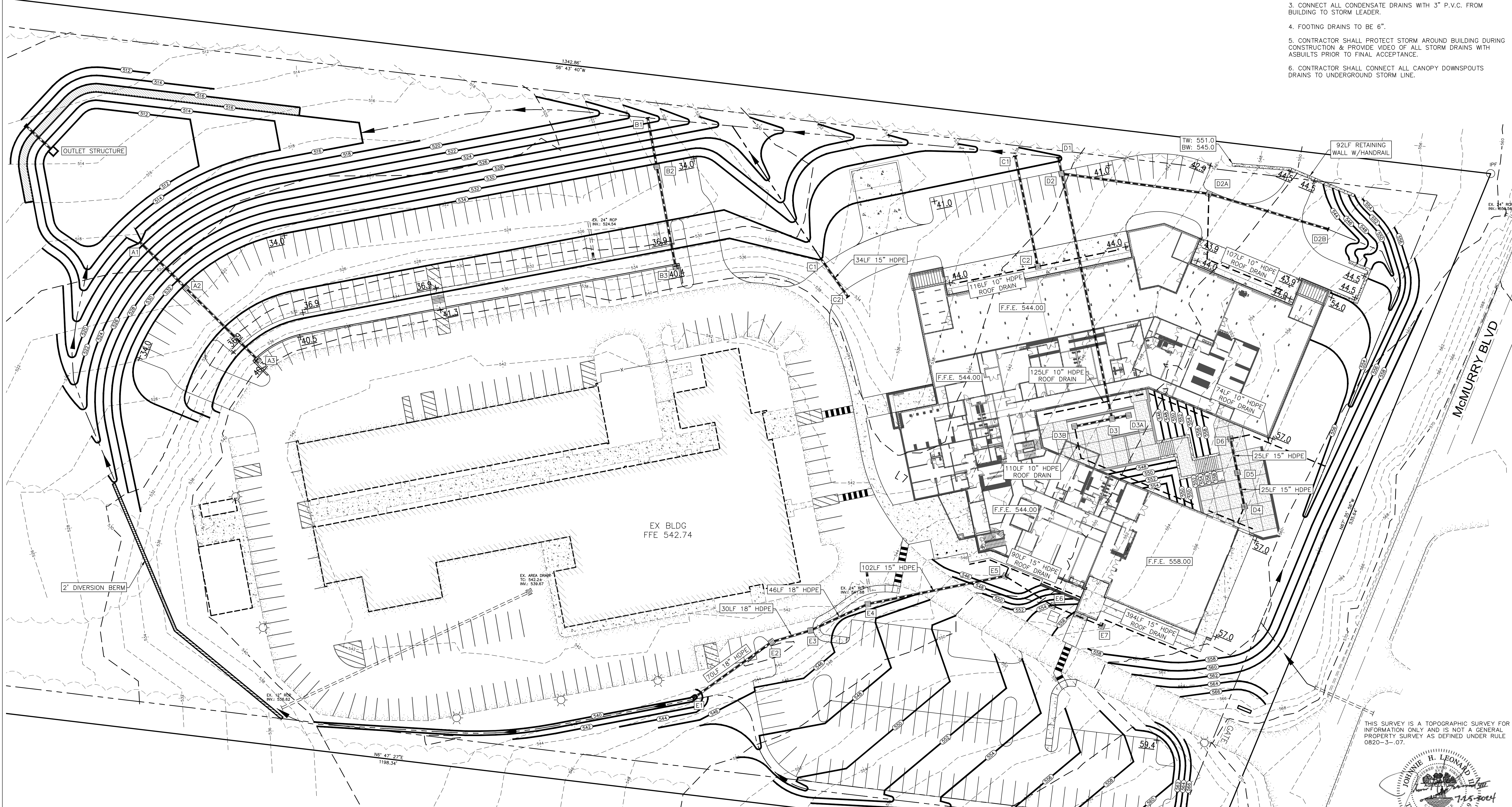


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PROJECT TEAM	DRAWN BY
HUDDLESTON-STEEL ENGINEERING, INC.	CHRIS GREGORY

SHEET CONTENTS / TITLE
 SITE PLAN COURTYARD AREA

C2.1
 AGENCY NO.

2023 This drawing is intended to be used in conjunction with the project's other drawings and shall not be used in isolation. The design professional shall not be responsible for the accuracy of the information provided by the utility owners. The design professional shall not be responsible for the accuracy of the information provided by the utility owners. The design professional shall not be responsible for the accuracy of the information provided by the utility owners.



- NOTES:
- CONNECT ALL DOWNSPOUTS WITH 6" BOOT FOR BUILDING DOWNSPOUT, 6" CANOPY AT DOWNSPOUT. CONFIRM SIZE WITH CANOPY MFR. USE J.R. HOE O-SERIES 18" HEIGHT.
 - STORM LEADERS SHALL BE 6, 8, 10 OR 15" P.V.C. AS SHOWN @ 1.00% MIN. GRADE.
 - CONNECT ALL CONDENSATE DRAINS WITH 3" P.V.C. FROM BUILDING TO STORM LEADER.
 - FOOTING DRAINS TO BE 6".
 - CONTRACTOR SHALL PROTECT STORM AROUND BUILDING DURING CONSTRUCTION & PROVIDE VIDEO OF ALL STORM DRAINS WITH ASBUILTS PRIOR TO FINAL ACCEPTANCE.
 - CONTRACTOR SHALL CONNECT ALL CANOPY DOWNSPOUTS DRAINS TO UNDERGROUND STORM LINE.

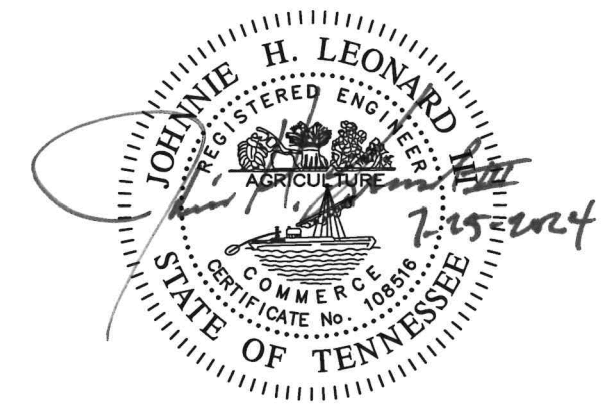
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THIS SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.



SIGN / SEAL



OWP PROJECT NO. 2023.256
 DATE OF ISSUE 04.24.2024

PROJECT PHASE / ISSUED FOR Development Package

REVISIONS
 DELTA DESCRIPTION DATE

PROJECT TEAM HIDDLESTON-STEEL ENGINEERING, INC.
 DRAWN BY CHRIS GREGGORY

SHEET CONTENTS / TITLE GRADING & DRAINAGE PLAN

C4.0

AGENCY NO.

- LEGEND**
- Power Pole
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - Reducer
 - Water Valve
 - Water Meter
 - Concrete Thrust Block
 - Existing Water Line
 - Proposed Water Line
 - Existing Sanitary Sewer Line
 - Proposed Sanitary Sewer Line
 - Existing Stormwater
 - Proposed Stormwater
 - Existing Catch Basin
 - Existing Manhole
 - Proposed Manhole
 - Sewer Line Check Dam
 - Existing Contours
 - Proposed Contours
 - Existing Spot Elevations
 - Proposed Spot Elevations
 - Sitation Fence
 - (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
 - Sitation Fence (Initial Measure)
 - Sitation Fence (Once Constructed)
 - Turf Reinforcement Mat
 - Stone Check Dam

- LEGEND**
- IFS O IRON PIN SET (1/2" REBAR WITH STAMPED IN-CO. DNGR)
 - IPF O IRON PIN FND.
 - CONC. REINFORCEMENT FOUND
 - FENCE
- Notes:
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
 - Underground utilities shown were located using available aboveground evidence, as well as from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 - This property may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.

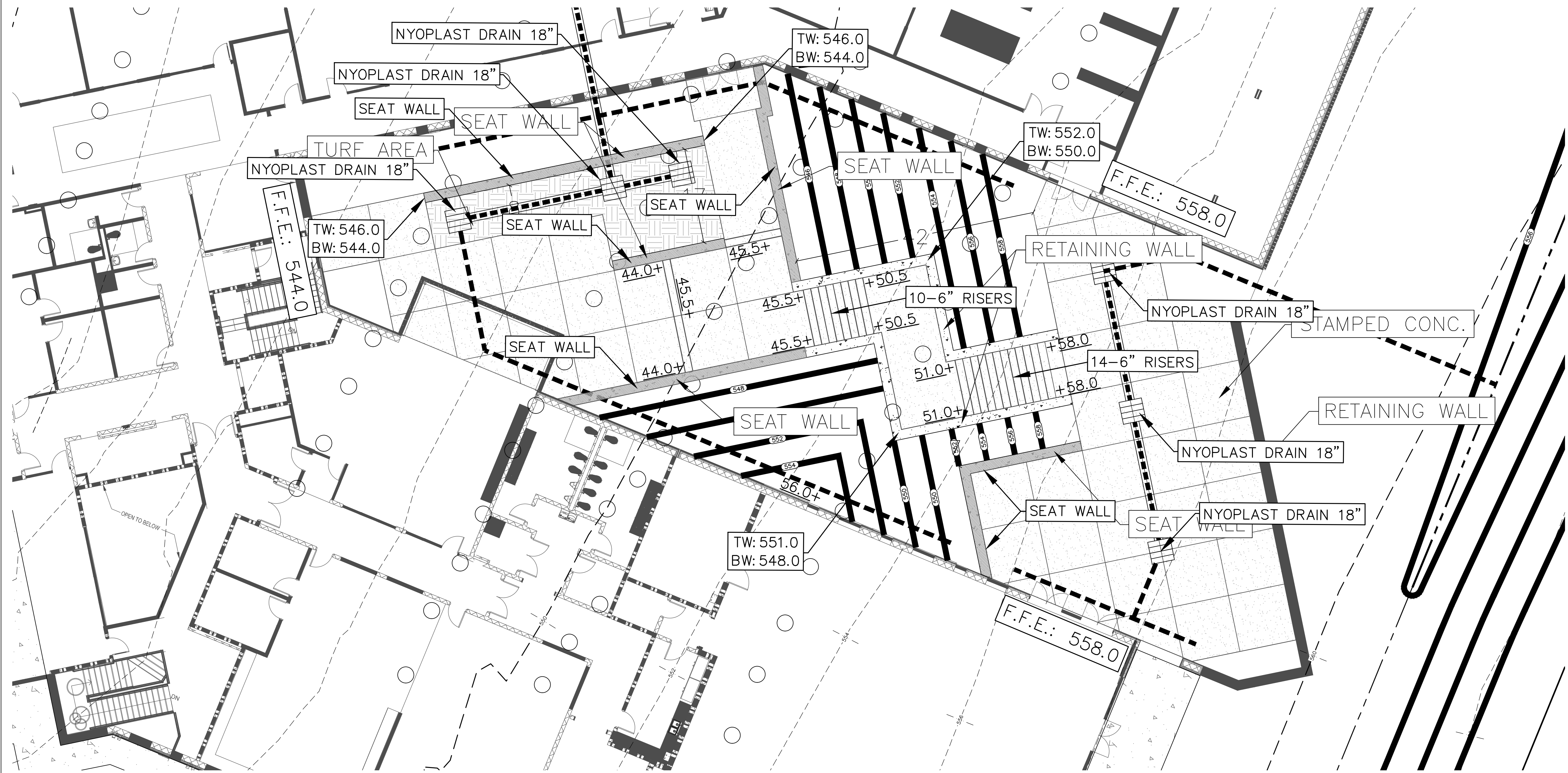
STORM SEWER STRUCTURE TABLE

ID	Type	Invert Elev.	Top of Gate
A1	Headwall	516.00	---
A2	Area Inlet	522.90	534.0
A3	Curb Inlet	534.00	540.5
B1	Headwall	524.00	---
B2	Area Inlet	527.00	534.0
B3	Curb Inlet	534.40	540.0
C1	Headwall	537.00	---
C2	Area Inlet	539.46	544.0
D1	Headwall	538.00	---
D2	Area Inlet	538.05	541.0
D2A	Area Inlet	539.24	543.2
D2B	Headwall	543.00	---
D3	Area Inlet	538.96	543.9
D3A	Area Inlet	539.02	543.9
D3B	Area Inlet	539.10	543.9
E1	Headwall	539.00	---
E2	Area Inlet	539.35	542.8
E3	Curb Inlet	539.50	542.8
E4	Area Inlet	539.73	544.2
E5	Area Inlet	540.24	543.7

STORM SEWER PIPE TABLE

FROM	TO	ID	Invert Elev.	Length	Pipe Size/Type	Slope %
A1	A2	A1	516.00	46	15" HDPE	15.00
A2	A3	A2	522.90	74	15" HDPE	15.00
B1	B2	B1	524.00	36	15" HDPE	8.33
B2	B3	B2	527.00	74	15" HDPE	10.00
C1	C2	C1	537.00	82	15" HDPE	3.00
D1	D2	D1	538.00	10	15" HDPE	0.50
D2	D2A	D2	538.05	108	15" HDPE	1.10
D2A	D2B	D2A	539.24	90	15" HDPE	4.18
D2	D3	D2	538.05	181	15" HDPE	0.50
D3	D3A	D3	538.96	12	15" HDPE	0.50
D3	D3B	D3	538.96	28	15" HDPE	0.50
E1	E2	E1	539.00	70	18" HDPE	0.50
E2	E3	E2	539.35	30	18" HDPE	0.50
E3	E4	E3	539.50	46	18" HDPE	0.50
E4	E5	E4	539.73	102	15" HDPE	0.50

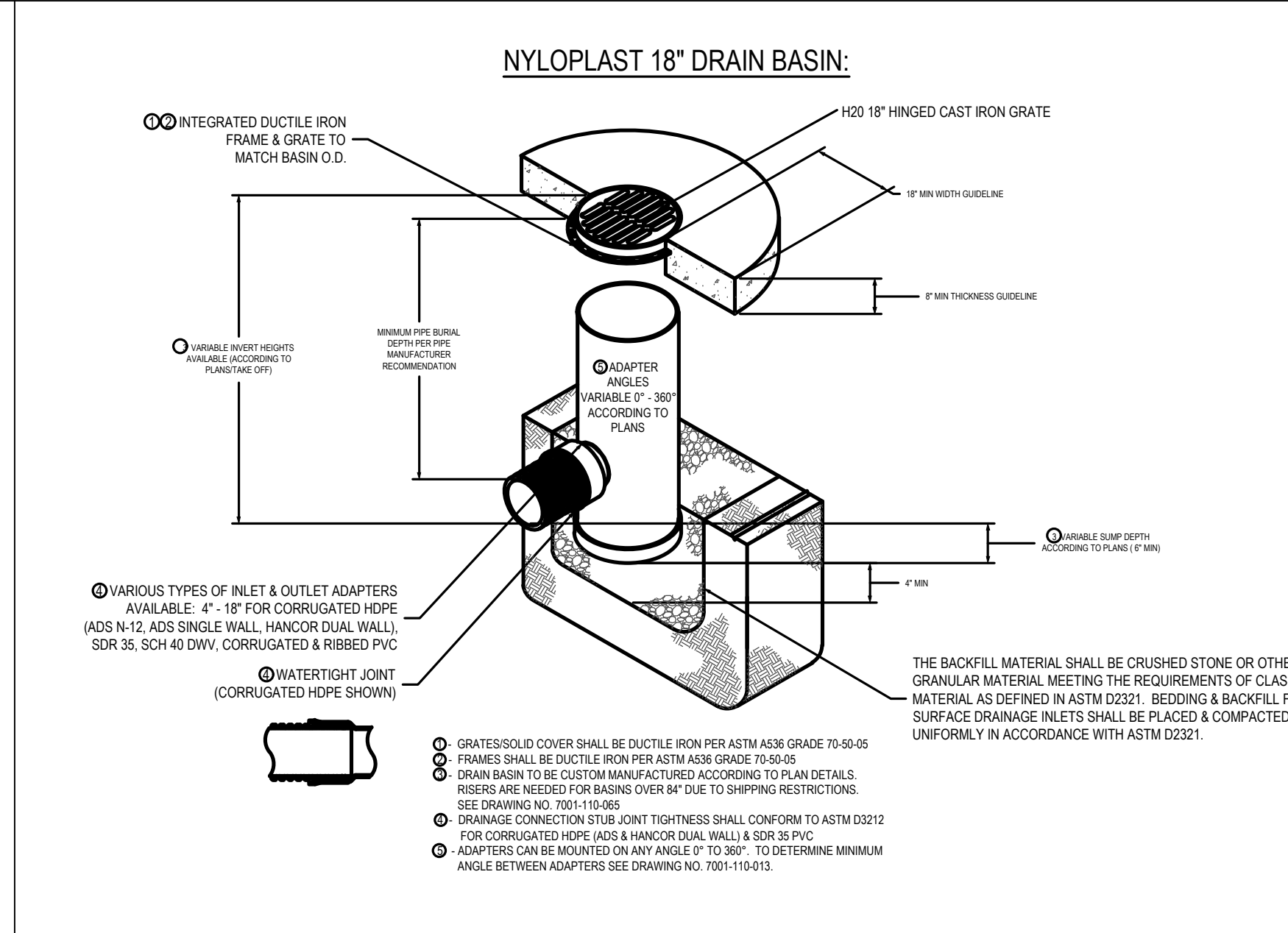
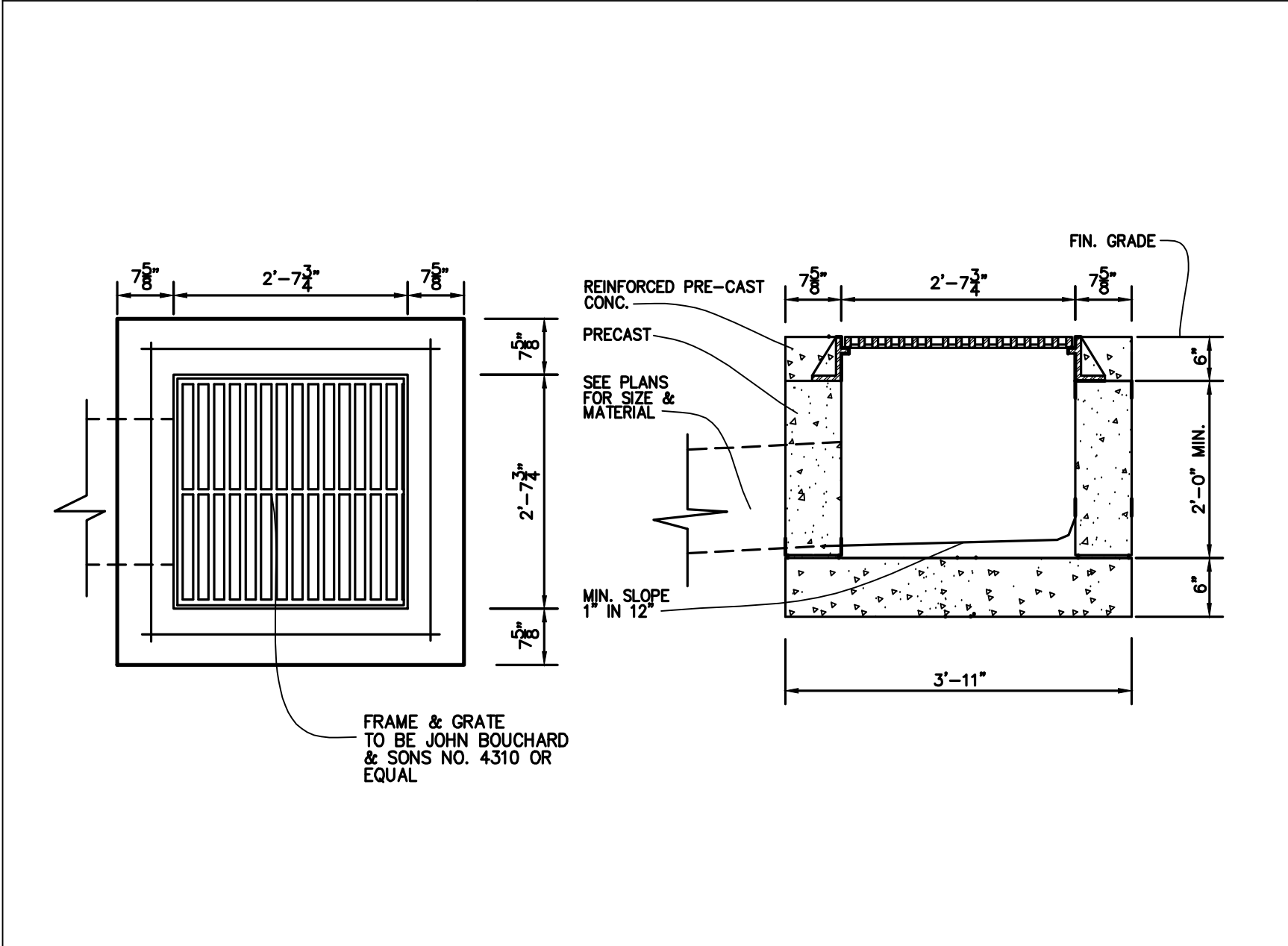
HIDDLESTON-STEEL ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 893 - 4084, FAX: 893 - 0080



SCALE: DETAIL: 8

SCALE: 1' = 10' ENHANCED COURTYARD GRADING DETAIL: 1

SCALE: DETAIL: 9

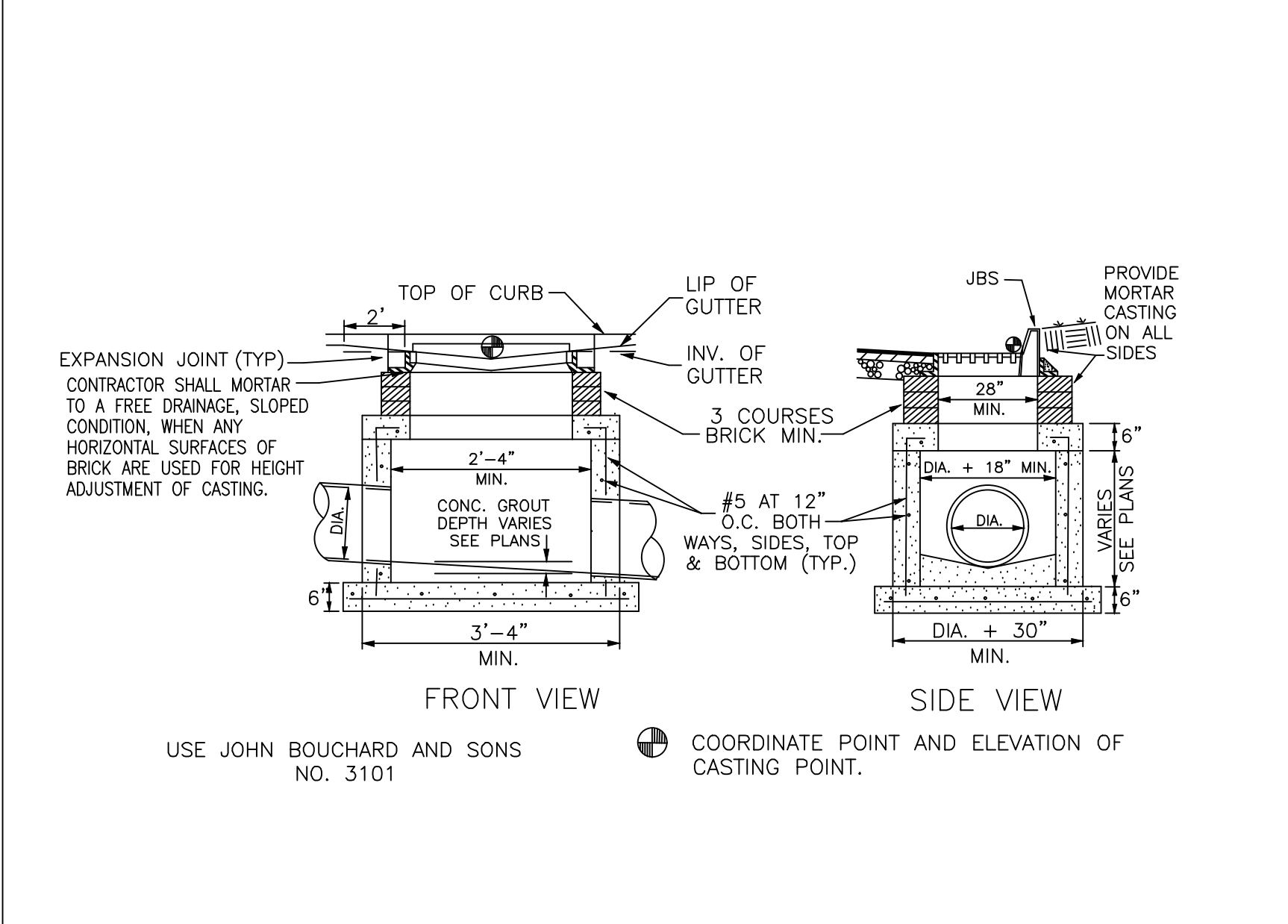


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SCALE: NONE NYOPLAST DRAIN BASIN DETAIL: 4

SCALE: DETAIL: 6

SCALE: DETAIL: 10



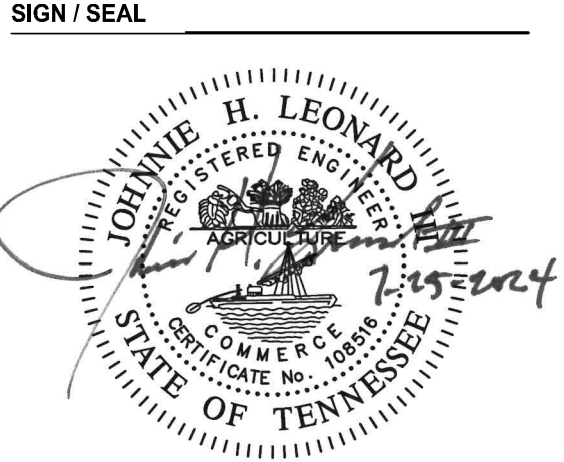
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SCALE: DETAIL: 5

SCALE: DETAIL: 7

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OWP PROJECT NO.	DATE OF ISSUE
2023_256	04/24/2024
PROJECT PHASE / ISSUED FOR	
Development Package	
REVISIONS	
DELTA DESCRIPTION	DATE
PROJECT TEAM	DRAWN BY
HUDDLESTON-STEELE ENGINEERING, INC.	CHRIS GREGORY

SHEET CONTENTS / TITLE
GRADING & DRAINAGE PLAN

C4.1
AGENCY NO.

HUDDLESTON-STEELE ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 893 - 4084, FAX: 893 - 0080

UTILITY CONTACTS

PUBLIC WORKS - CLIFF SALLEE
HARTSVILLE/TROUSDALE CO. 615-324-9524

WATER & SEWER - TOMMY McFARLAND
HARTSVILLE/TROUSDALE CO. 615-374-3484

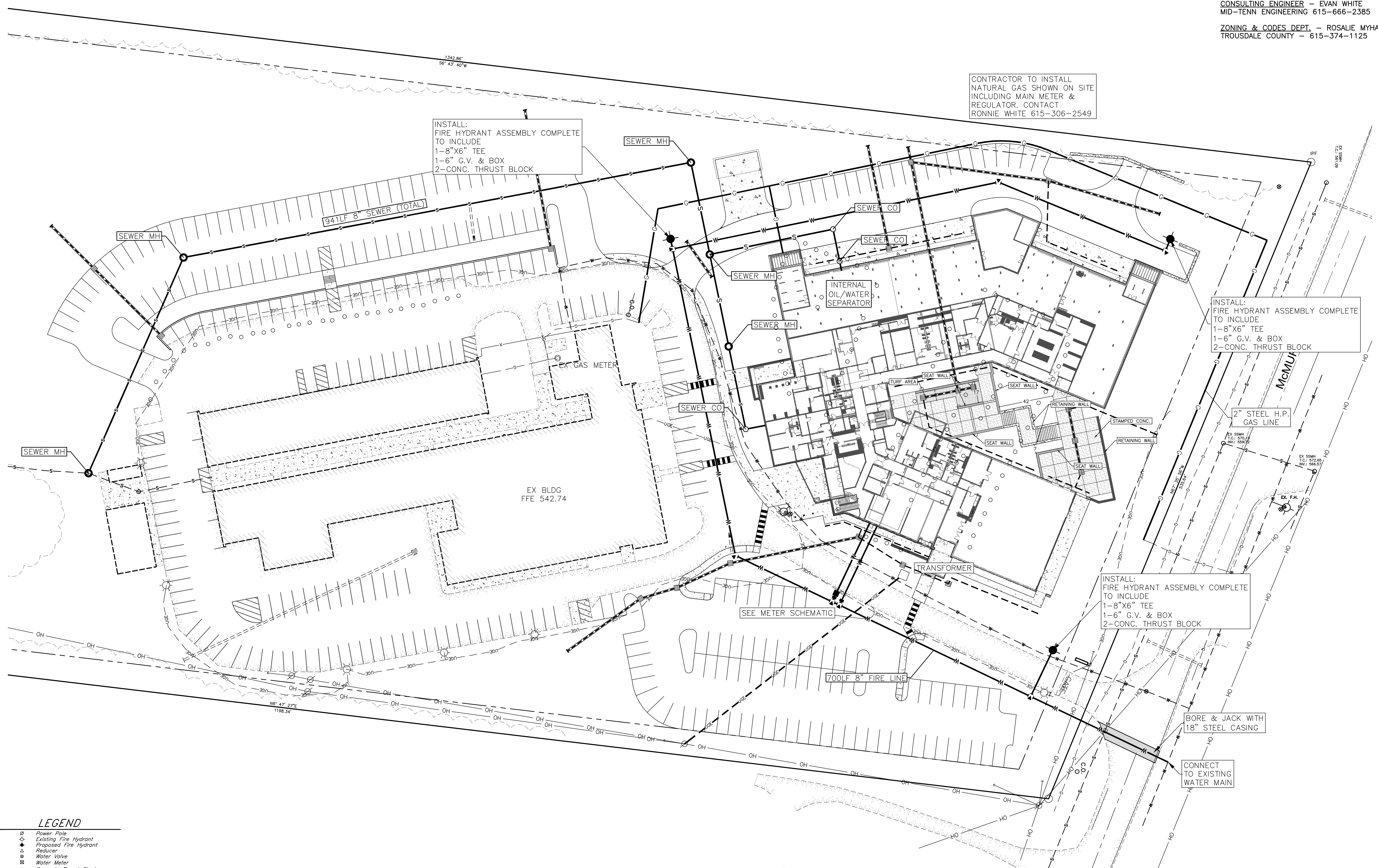
NATURAL GAS - RONNIE WHITE
PIEDMONT GAS 615-306-2549

CONSULTING ENGINEER - EVAN WHITE
MID-TENN ENGINEERING 615-666-2385

ZONING & CODES DEPT. - ROSALIE MYHAN
TROUSDALE COUNTY - 615-374-1125

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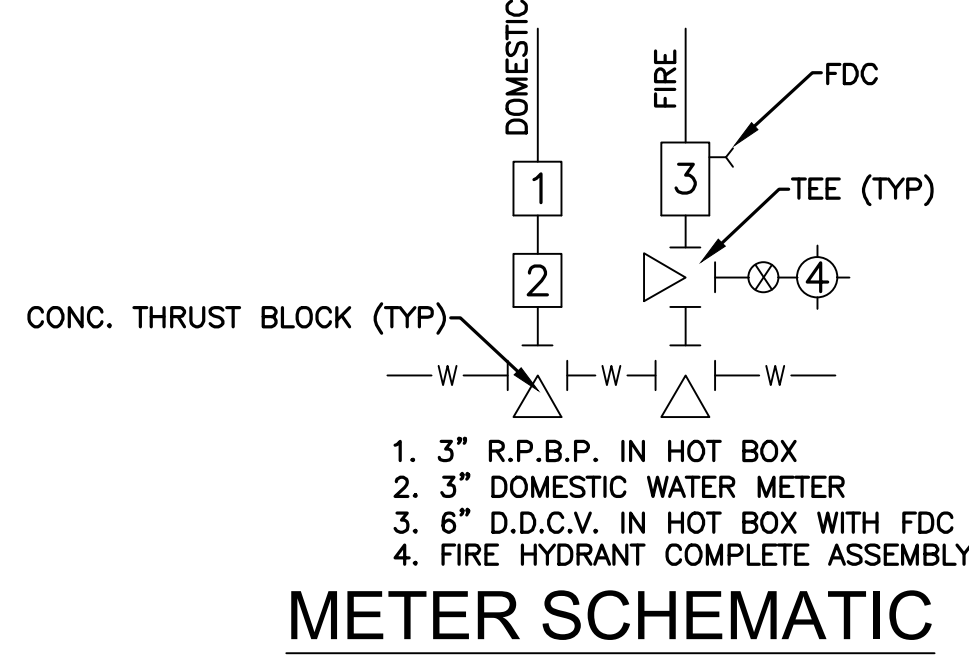


CONTRACTOR TO INSTALL
NATURAL GAS SHOWN ON SITE
INCLUDING MAIN METER &
REGULATOR. CONTACT
RONNIE WHITE 615-306-2549

INSTALL:
FIRE HYDRANT ASSEMBLY COMPLETE
TO INCLUDE
1-8\"/>

INSTALL:
FIRE HYDRANT ASSEMBLY COMPLETE
TO INCLUDE
1-8\"/>

INSTALL:
FIRE HYDRANT ASSEMBLY COMPLETE
TO INCLUDE
1-8\"/>



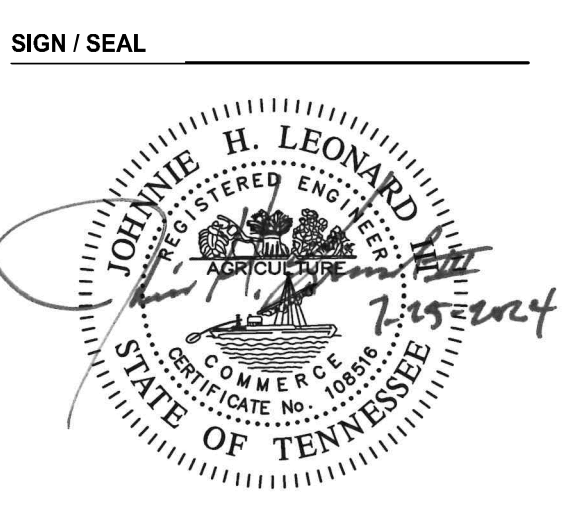
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LEGEND

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PROJECT TEAM
HUDDLESTON-STEEL ENGINEERING, INC.

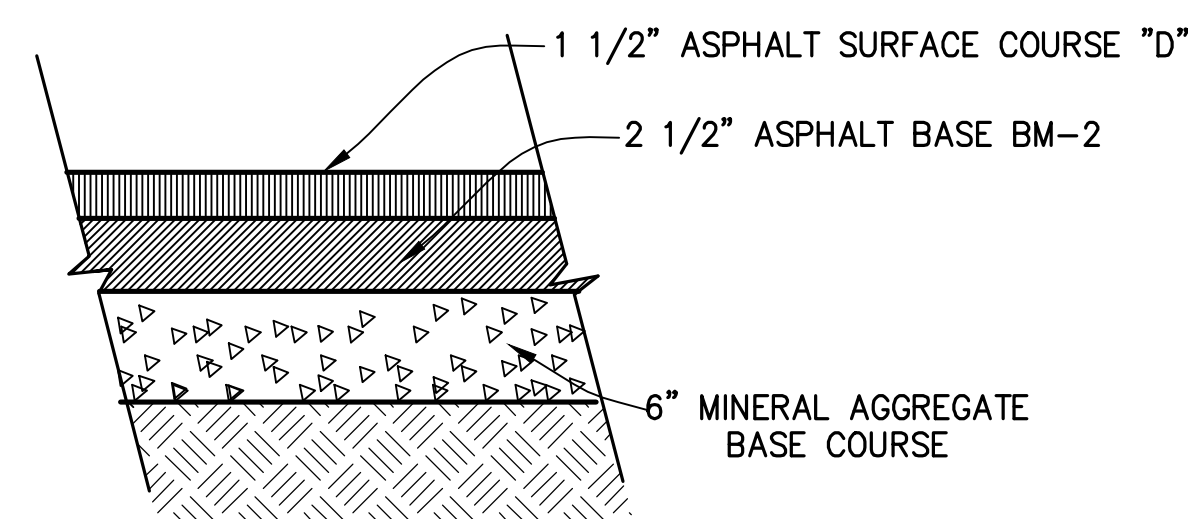
DRAWN BY
CHRIS GREGORY

SHEET CONTENTS / TITLE
SITE UTILITY PLAN

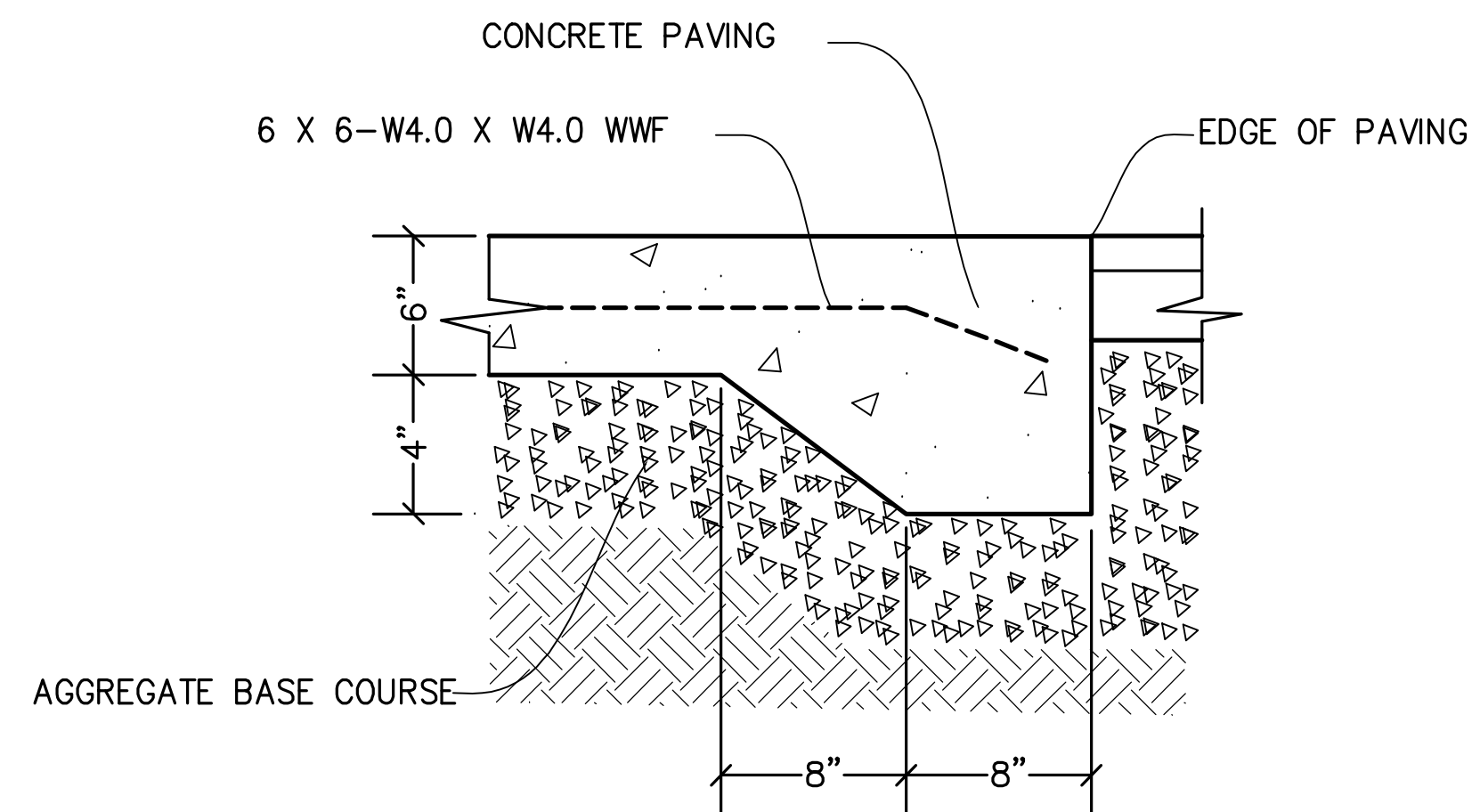
C5.0

AGENCY NO.

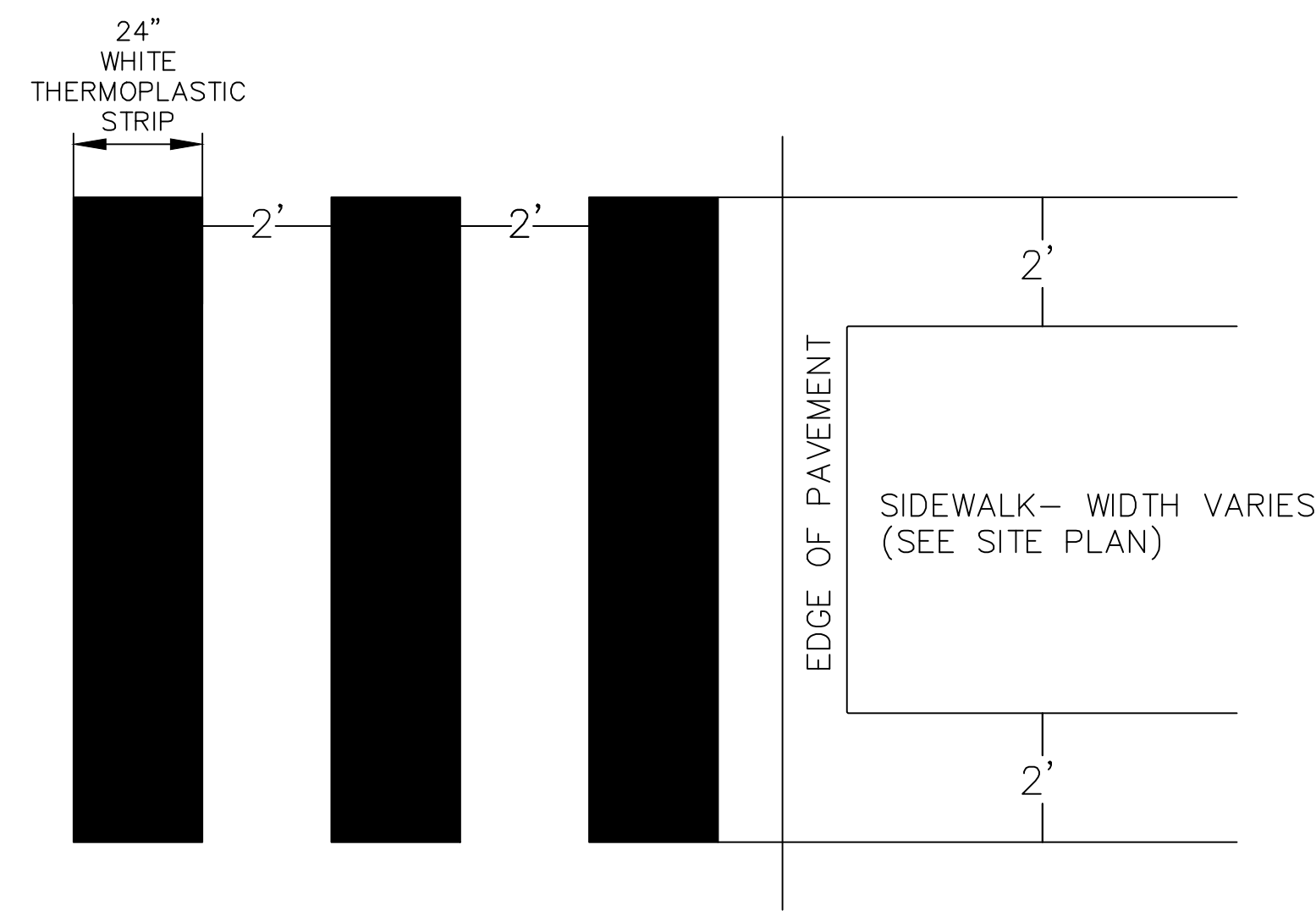
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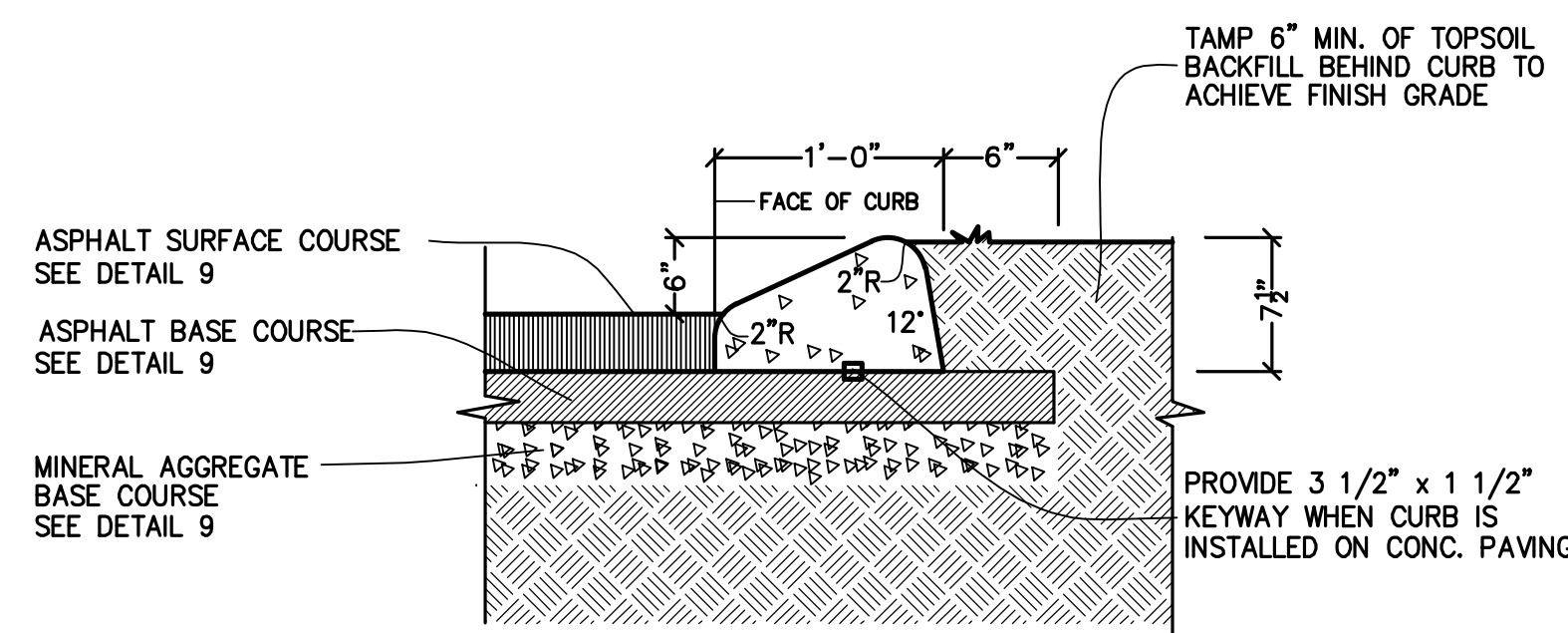
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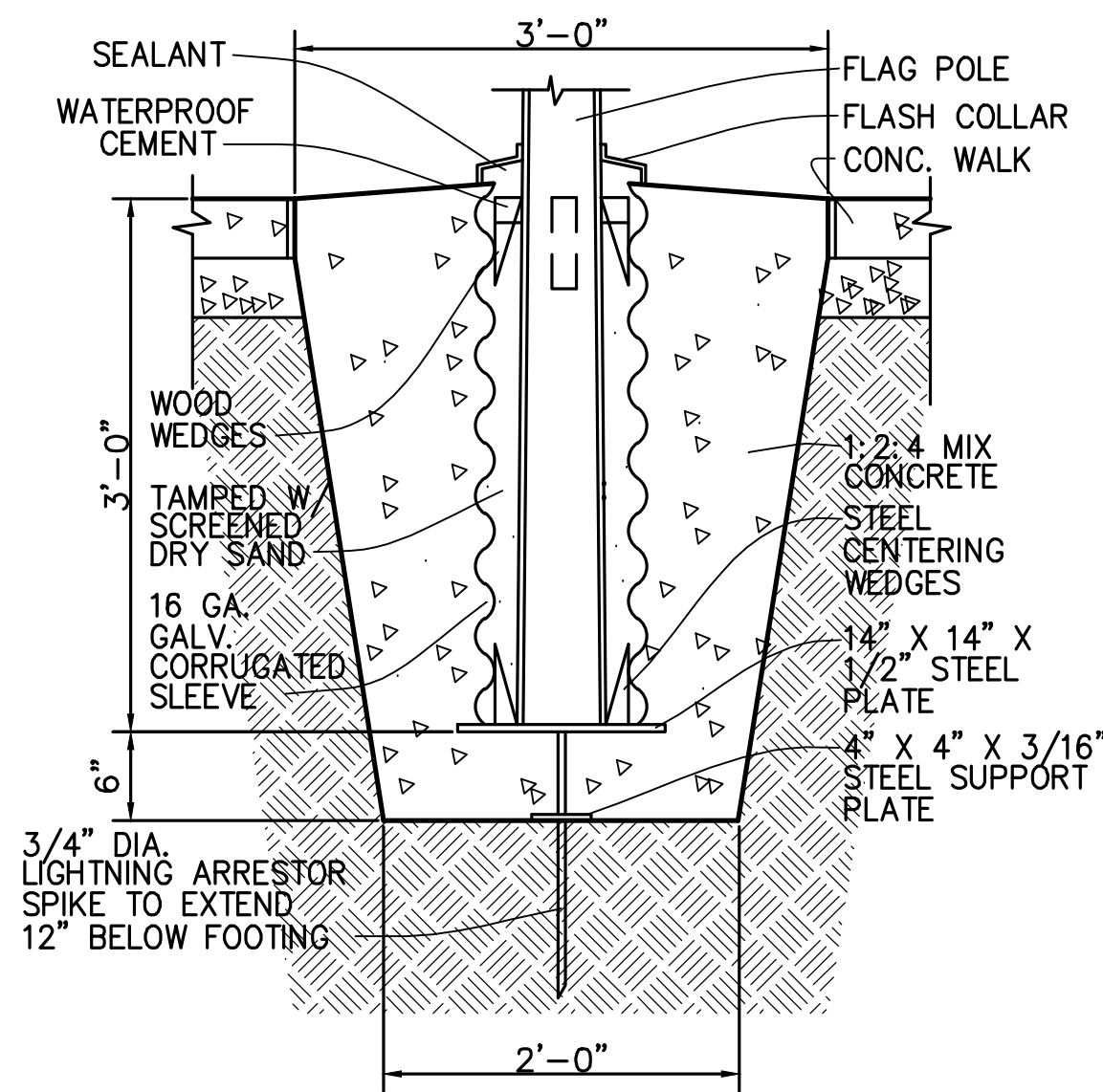
SCALE: NONE CONC. PAVING DETAIL 5



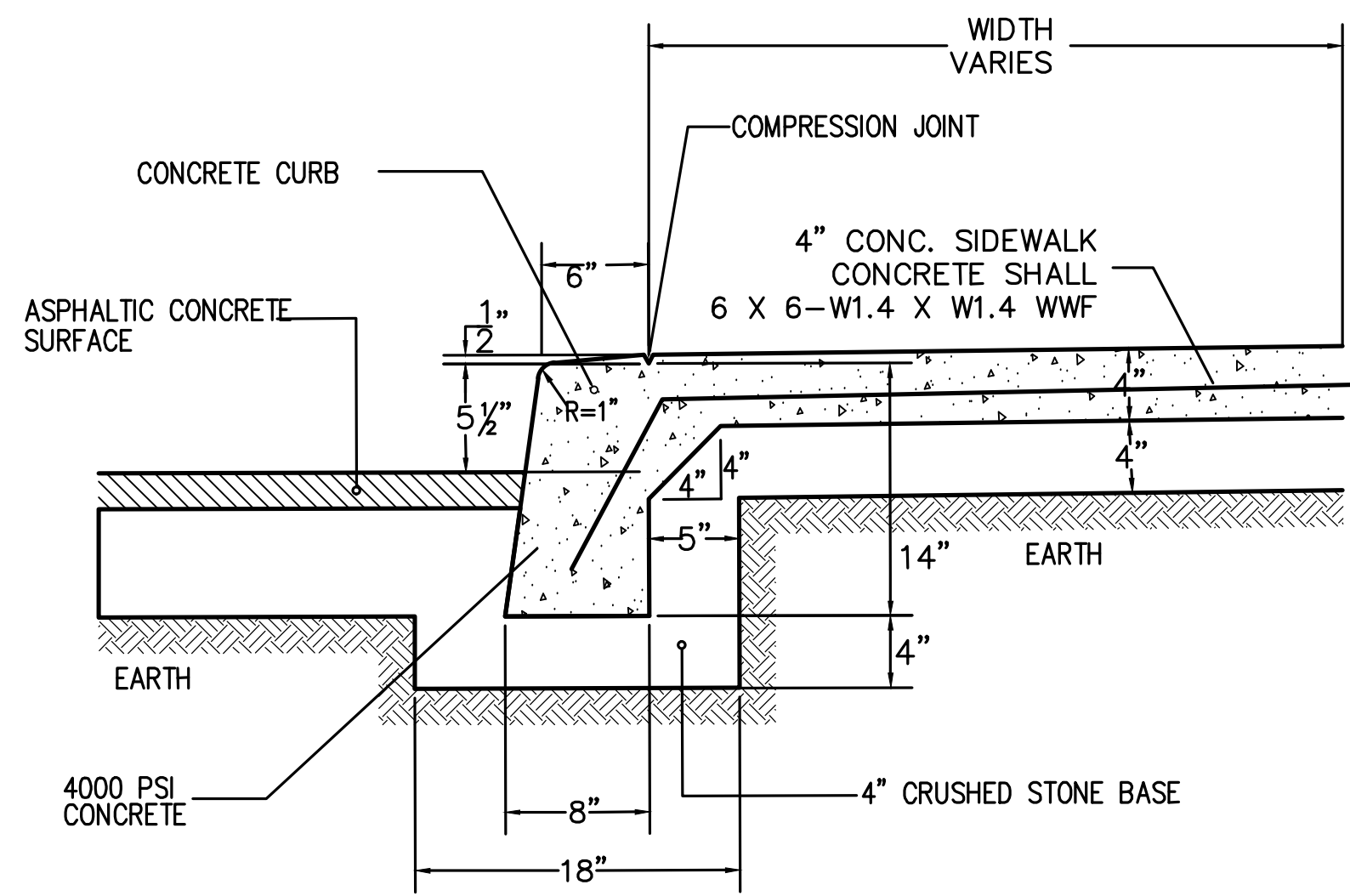
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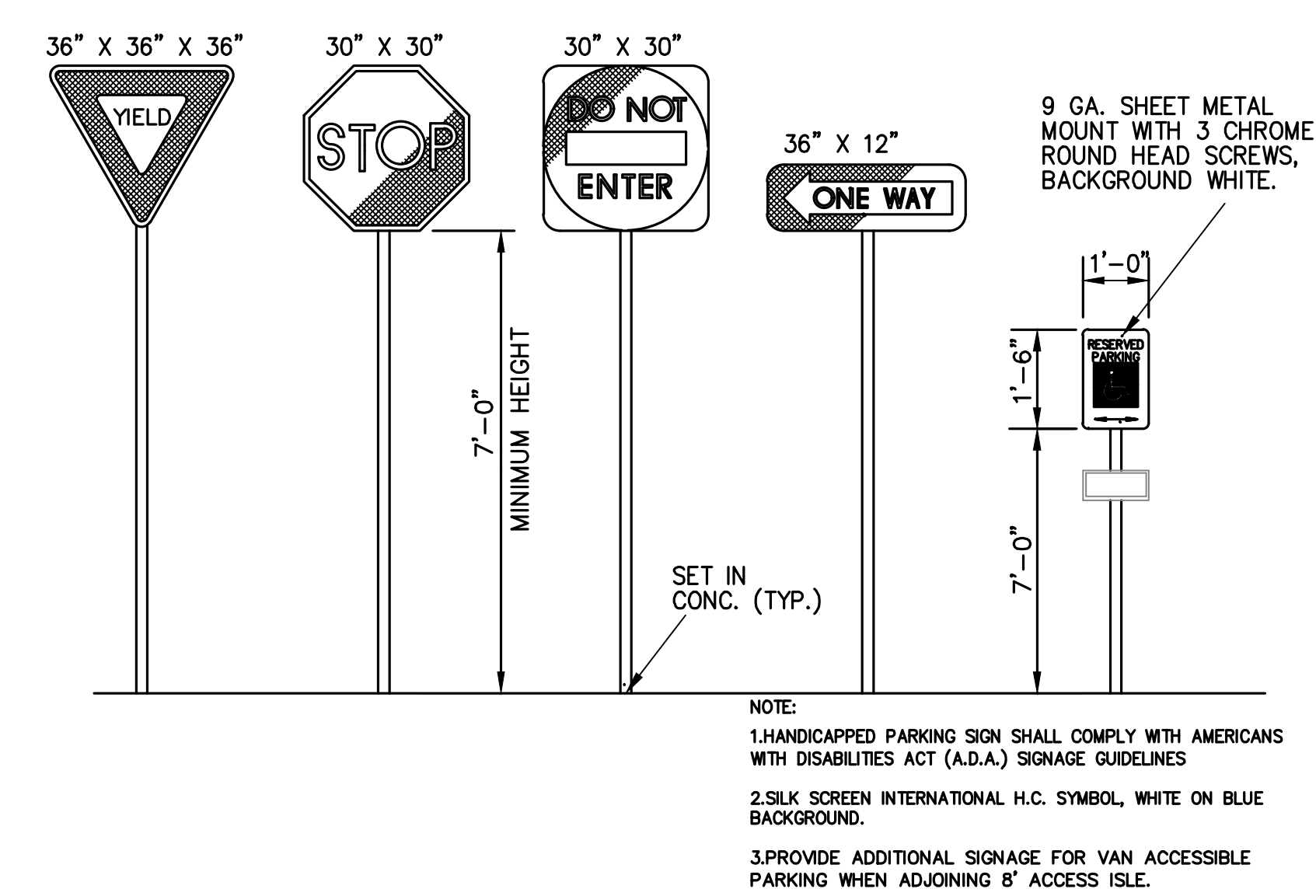
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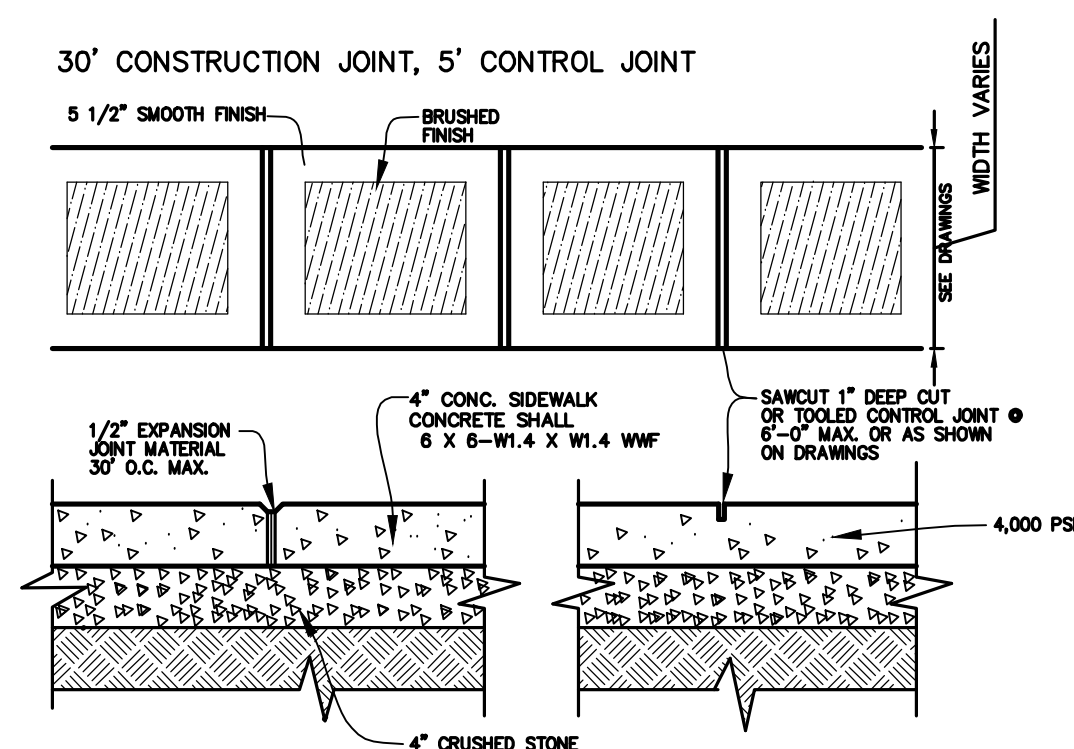
SCALE: NONE FLAG POLE BASE DETAIL 6



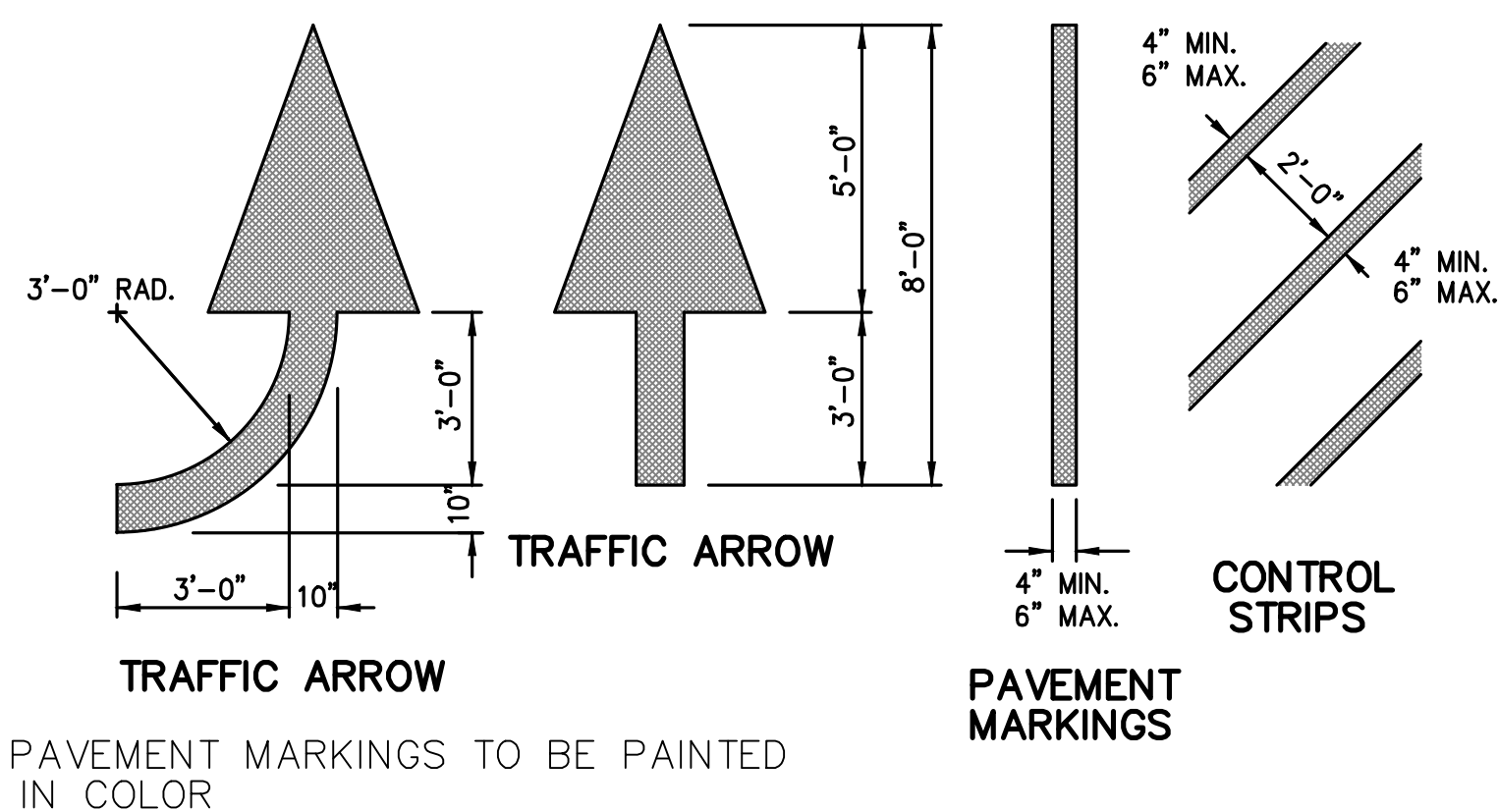
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SCALE: NONE SIGNS DETAIL 7



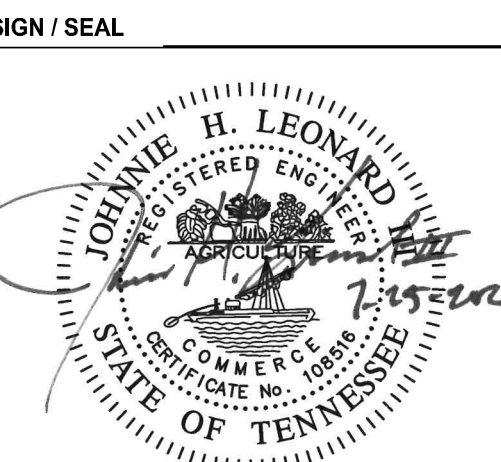
SCALE: NONE SIDEWALK DETAIL 4



SCALE: NONE PAVEMENT MARKINGS DETAIL 8

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SHEET CONTENTS / TITLE SITE DETAILS

C6.0
AGENCY NO.

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- 1.0 General**
- 1.1 Scope:** This work includes providing labor, equipment, materials, installation and maintenance services to complete all landscape installation as indicated in construction documents.
- A. Providing and installing all plantings including trees, shrubs, ground cover, turf grass, planting soil mix and mulch
 - B. Guarantee Period: All landscape plant material shall remain alive and in healthy condition for one full year from time of final acceptance of completed work. Contractor shall replace any dead or unhealthy plant material during the one year guarantee period at no additional cost to the owner.
 - C. Specified Maintenance Period: Contractor shall fully maintain all landscape material for the duration of the project until final acceptance by the owner. This includes watering, weeding, fertilizing and mowing of grass and general upkeep of all landscape beds. Should any plant material be damaged die or defoliate during this period it shall be replaced immediately with plant material of the same size, species and quality as originally specified.
 - D. It is the responsibility of the landscape contractor to confirm all material quantities. In the event of a discrepancy, the quantities shown on the plan shall take precedence over the material schedule.
 - E. No substitutions as to type, size, or spacing of plant materials specified on this plan may be made without the approval of the landscape architect or owner's representative. All substitutions shall be reviewed and approved with the owner's representative and the applicable municipal or state reviewing agency.
 - F. Contractor shall be required to obtain all permits relative to landscape installation. Any work in municipal or state right of way or utility easements may require a permit from the governing agency.

- 1.2 Inspection and approval:**
- A. All plant material may be subject to inspection and approval by the landscape architect or the owners representative in the field or nursery before digging, or at the site before planting or placing or at any other time. Attach secure, durable, legible waterproof labels, stating correct botanical and common names as specified, to at least one shrub or perennial in a grouping and to each tree on site. All labels to be completely removed by contractor at time of final acceptance.
- 1.3 Job Conditions**
- A. Examine conditions under which work is to be performed and notify the Landscape Architect of unsatisfactory conditions or any potential field adjustments. Should the landscape contractor encounter unsatisfactory surface or other subsurface drainage conditions, inadequate soil depth, latent soils, hard pan, utility lines or other conditions that will jeopardize the health and vigor of the plants, adjustment must be made by the contractor to insure suitable conditions for proper growth and development of the plants to be installed.
 - B. Determine locations of underground utilities and perform work in manner which will avoid all possible damage. It is a requirement per the Tennessee "Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate, a list of these utilities may be obtained from the county register of deeds. Those utilities that participate in the Tennessee one call system can be notified by calling 1-800-351-1111. Hand excavate to avoid damage to existing utilities if required.
 - C. Contractor to remove any debris on site and clear and grub all landscape planting areas prior to grading and planting as part of contract. All planting and seeding areas shall be free from weeds prior to planting and mulching. No plant material shall be planted prior to completion of finish grade. Herbicide and/or mechanical removal of weeds may be required to insure complete weed removal. Any herbicide applications must be done a minimum of 2 weeks or more prior to time of planting.

2.0 Materials

- 2.1 Topsoil:**
- A. All topsoil shall be stripped and stored for reuse on site prior to grading and excavation work.
 - B. Topsoil stripped and stored on site, or hauled in for use on site shall meet the following criteria before being spread on site or used in landscape beds or planting mix.
 - 1) To be friable, friable naturally occurring topsoil, free of stones, subsoil, clay lumps, hardpan, roots, stumps, branches sticks and other debris larger than one and one half inch in any dimension, free of noxious weeds, grasses, seeds, plants, extraneous matter and any substance harmful to plant growth:
 - 2) Ph range of 5.5 to 7.0
 - 3) Organic matter 5% to 10%
 - 4) Topsoil shall contain a maximum of 35% clay
 - 5) Topsoil shall contain a minimum of 20% sand
- 2.2 Planting Mix:** Shall be thoroughly mixed in proportions specified for plant pits and planting beds
- A. 40% Approved material excavated from the pits (If rock or heavy clay is encountered provide 70% topsoil in mix)
 - B. 30% Topsoil (as defined in 2.1 herein)
 - C. 30% Organic compost consisting of peat moss, mushroom compost or worm castings. All organic compost must be well aged. No raw wood or other unaged material shall be permitted as part of compost blend.
 - D. Add 3 lbs of 6-12-12 fertilizer to each cubic yard of topsoil mix during the mixing process, for all plants.
 - E. All planting mix shall be inoculated with a mycorrhizal fungal product. Mycorrhiza inoculation may be applied with a powder or liquid application. Follow manufacturers directions for proper amount and methods of application.

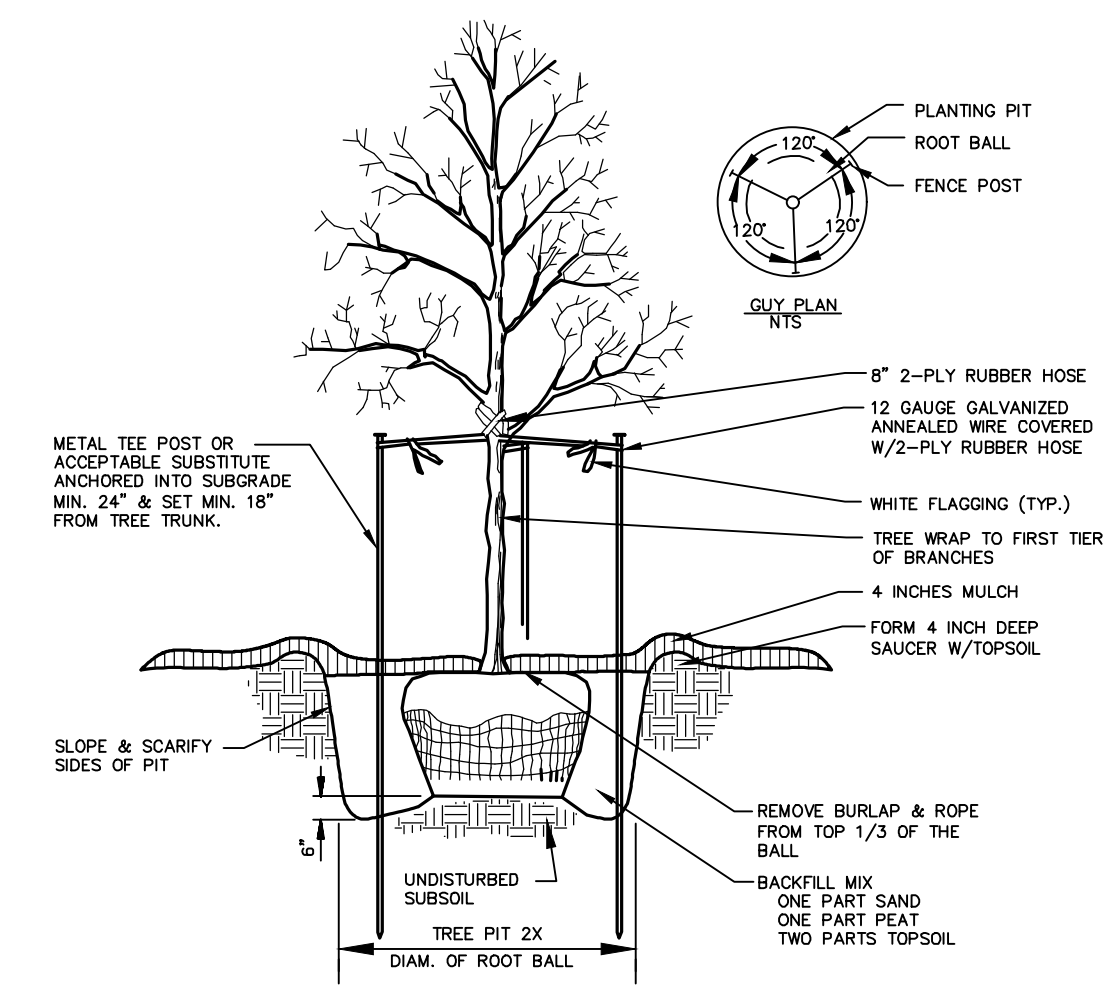
- 2.3 Plant Materials:**
- A. Shall conform to state and federal requirements for disease and insect control, shall be in accordance with American Standard for Nursery Stock, ANSI Z-60.1 (latest approved edition) and shall be subject to approval of owner's representative. Dimensions listed for heights, spread and trunk specifications on the plant material schedule are a guide for the minimum required size of each plant.
 - B. All plant material must be free from bark damage, well foliated and have a well established root system, without circling roots or root bound pots.
 - C. First class representatives of their species or variety and true to name and size. Plants that are not of highest quality will be rejected. All plants shall have a well-formed canopy (head) with minimum caliper, height, and spread as shown on the plant list. Trunks and canopy shall be shaped by typical of the species. Trees of the same species shall have the following characteristics: matched by branching height, caliper, height of tree, spread of branches and branching structure, and overall canopy shape.

- 2.6 Seed:** Seed shall be delivered to site in original seeded packages bearing the producers guaranteed analysis for percentages of mixtures, purity, germination, weedseed content and inert material. All seed must be fresh, clean and from current seasons seed crop.
- A. Variety: Premium Tall Fescue blend (drought tolerant variety)
 - B. Purity: 95% minimum
 - C. Percent Germination: 90% minimum
 - D. Maximum weed seed content: 0.5%
- 2.7 Sod:** Sod shall be premium Bermuda grass. Sod shall strongly rooted and free of weeds, disease and pests. All sod shall be cut and delivered with uniform thickness with no less than 1" soil.
- 2.8 Mulch:** 100% Shredded and Aged Hardwood Mulch or Pine Straw (owners choice as specified on plans) to cover all tree, plant and ground cover pits and landscape beds.
- 2.9 Fertilizer:** Fertilizer shall have a ratio of 0% nitrogen, 12% phosphorus and 12% potassium. Fertilizer shall be granular and mixed into planting mix at the rates as specified in 2.2 herein and at the manufacturers rate for turf grass areas.

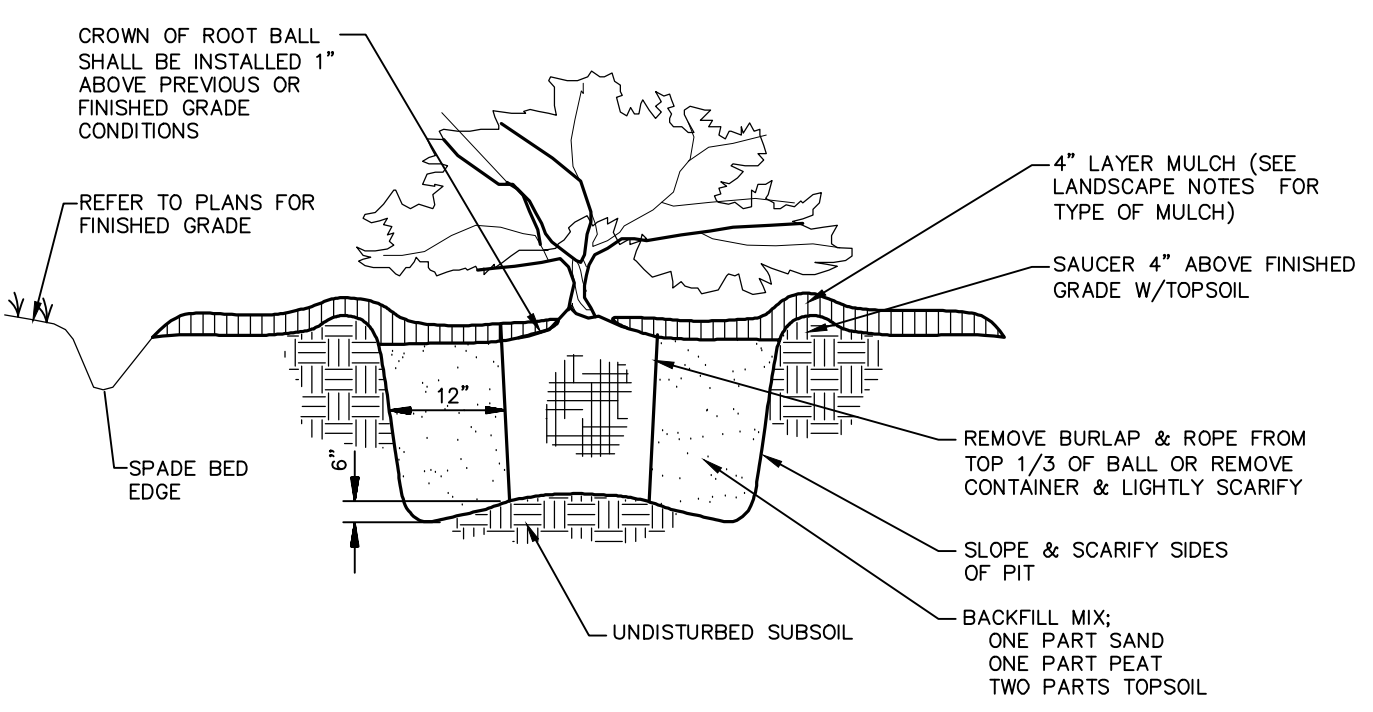
- 3.0 Execution**
- 3.1 Finish, Grade and Landscape Bed Preparation**
- A. Finish grading to be completed by General Contractor. Fine grade soil to eliminate irregularities and ponding from finish grades and to form smooth, consistent grade with positive drainage away from all buildings and structures. All landscape beds are to be tilled to a minimum depth of 8" and covered with fertile topsoil to a minimum depth of 4".
- 3.2 Topsoil Placement**
- A. Finish grading to be completed by General Contractor. Fine grade soil to eliminate irregularities and ponding from finish grades and to form smooth, consistent grade with positive drainage away from all buildings and structures.
 - B. If planting and mulching is not commenced immediately, protect spread topsoil from erosion by force of wind, water or other force, and reestablish eroded, rutted or settled grades to proper finished grade.
 - C. Spreading of topsoil: All landscape beds and turf grass areas shall have a minimum depth of 4" of topsoil established prior to planting, seeding, sodding or mulching. All topsoil stripped from the site shall be utilized on site to establish the 4" minimum depth required for landscape areas. All excess topsoil beyond the 4" minimum depth shall be evenly spread throughout landscape and turf grass planting areas.

- 3.3 Planting of Trees, Shrubs and perennials**
- A. Do not prune plants without direction and approval of Landscape Architect.
 - B. Prepare planting mix as specified in 2.2 herein. Place as backfill for all trees, shrubs, and ground cover beds as drawn and detailed.
 - C. Plant all material as drawn and detailed.
 - D. All trees and shrubs shall be placed in well drained planting pits. If standing water occurs in planting holes the contractor shall provide proper subsurface drainage to insure the plants survival and /or plant material shall be placed in elevated bermed areas to provide proper aeration of root balls.
 - E. All trees are to be equipped with 20 gallon capacity watering bags to be used during the construction period and left in place for the owners use after final acceptance of the project.
 - F. If rock is encountered during planting operations, landscape berms or alternated planting locations should be evaluated by landscape architect prior to planting.
 - G. It is the responsibility of the landscape contractor to verify that each excavated tree or shrub pit will percolate (drain) prior to adding topsoil and installing trees or shrubs. If the soil at a given area does not drain properly, a p v c drain or gravel sump shall be installed, or plantings shall be placed on a berm of planting mix to keep plants out of standing water.
- 3.4 Seed:** Provide an acceptable stand of seed, defined as no bare areas more than 4" square. Provide seed bed preparation with fertilizer, limestone and straw mulch. Maintain seeded areas until final acceptance by Owner or owners representative. Grass shall have at least one mowing before receiving final acceptance.

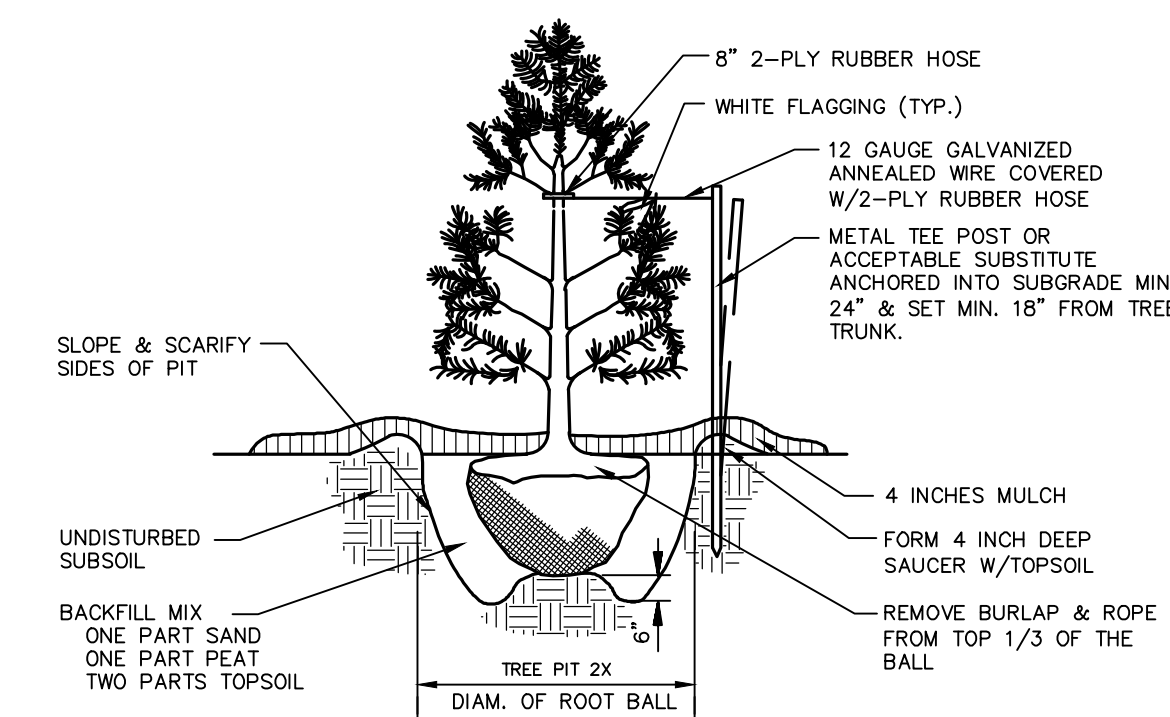
- 3.5 Sod**
- A. Sod shall be installed within 24 hours of delivery to site. No sod shall remain on pallets for longer than 24 hours after delivery.
 - B. All areas to receive sod shall be raked to finish grade to eliminate irregularities and ponding and to form smooth, consistent grade with positive drainage. Prepare topsoil with lime and fertilizer as needed.
 - C. All areas to receive sod shall be raked free of all rocks and debris prior to sod placement.
 - D. Areas to receive sod shall be slightly moistened immediately prior to laying sod. Sod shall be watered thoroughly after laying.
 - E. Lay sod tightly with no visible open joints and no overlapping between sod panels. Stagger end joints a minimum of 12". Cut sections of sod should be uniform and should not exceed 2 feet in width and 10 feet in length.
 - F. Roll sod after sod has dried from watering to insure a good bond between sod and soil and to level soil surface. Roller shall not exceed 150 lbs.
- 3.6 Establishment of grass:** All disturbed areas of the site are to be seeded and/or sodded to insure protection from erosion and to insure a well established stand of turf grass with no bare patches of exposed soil.



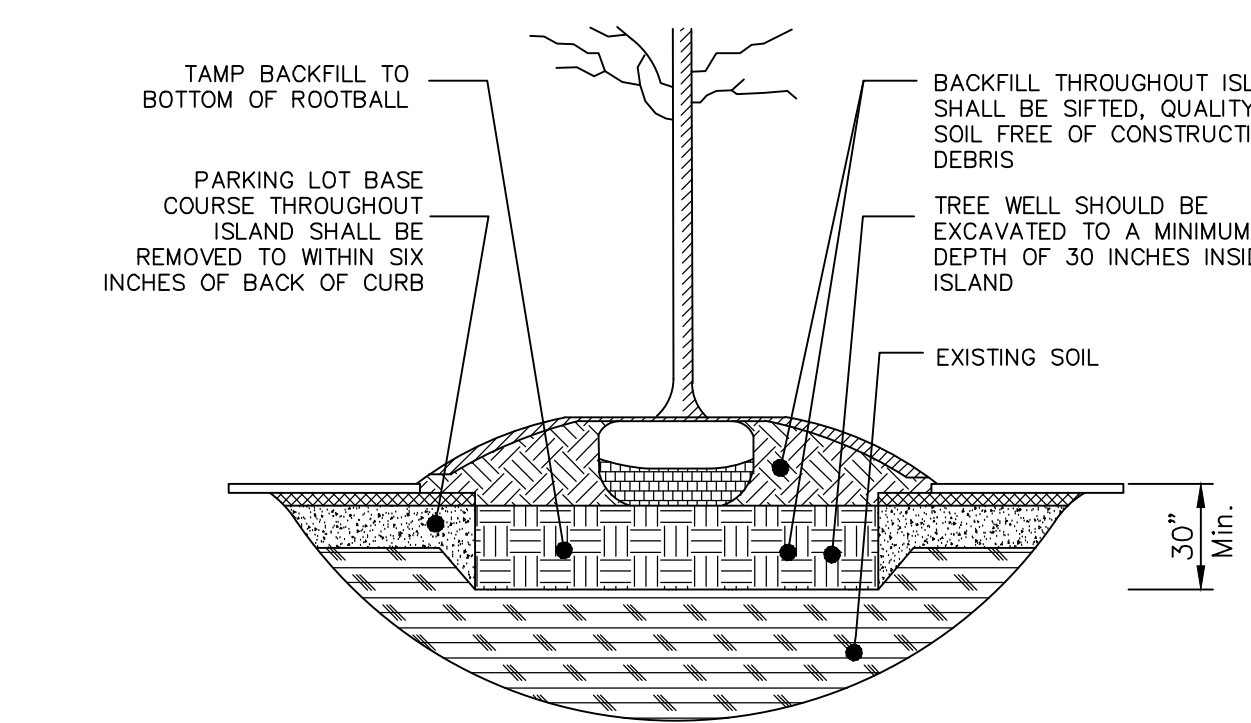
TREE PLANTING DETAIL



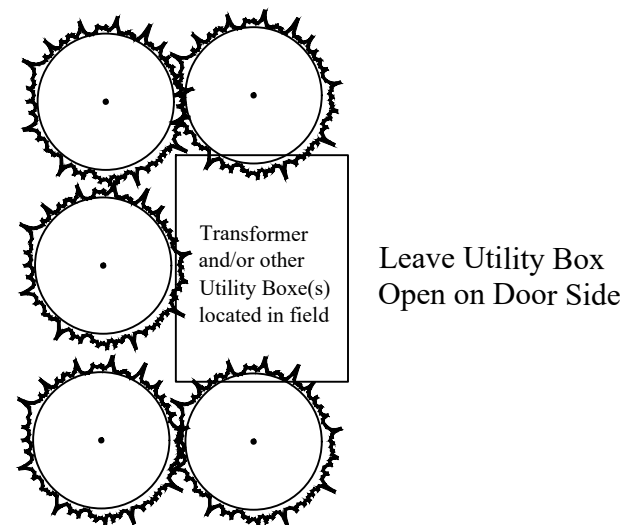
SHRUB PLANTING DETAIL



CONIFER PLANTING DETAIL



LANDSCAPE ISLAND OR MEDIAN DETAIL



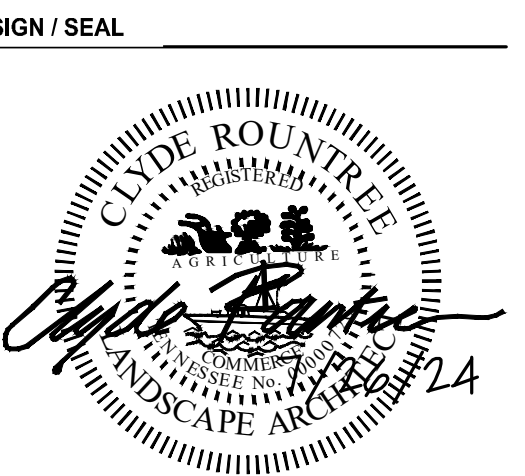
Utility Box Screening

Not To Scale
NOTE: All service areas, mechanical equipment, trash containers, and field set above-ground utility boxes must be screened from the public ROW on three sides (leaving door access open) with required evergreen plant material. Utility boxes not shown on plans shall be identified in the field and screened with evergreen plant material as noted on the plant list

Plant Schedule							
Qty.	Sym	Botanical Name	Common Name	Specifications	Min. Height	Native	Notes
Evergreen and Ornamental Trees							
31	AH	Ilex opaca	American Holly	B&B	8' Ht.	Y	Full symmetrical shape
5	AH	Ilex opaca	American Holly	B&B	12' Ht.	Y	4' Clear Trunk, Evenly Branched, Full Symmetrical Crown
2	RB	Cercis canadensis	Eastern Redbud	2.5" Cal.	12' Ht.	Y	4' Clear Trunk, Evenly Branched, Full Symmetrical Crown
6	MG	Magnolia virginiana	Sweetbay Magnolia	2.5" Cal.	12' Ht.	Y	Full symmetrical shape
2	DW	Cornus florida	Flowering Dogwood	2.5" Cal.	12' Ht.	Y	4' Clear Trunk, Evenly Branched, Full Symmetrical Crown
16	LC	Cupressus x leylandii	Leyland cypress	B&B	6' Ht.	Y	Full symmetrical shape
11	UP	Ulmus Americana	American Elm	2.5" Cal.	14' Ht.	Y	4' Clear Trunk, Evenly Branched, Full Symmetrical Crown
10	CP	Cryptomeria japonica	Japanese Cypotemia	3" Cal.	14' Ht.	Y	Full symmetrical shape
Shrubs and Perennials							
98	YP	Ilex vomitoria	Yaupon Holly	5 Gal.		Y	
33	MS	Miscanthus Adagio	Dwarf Maiden Grass	5 Gal.		N	
160	SC	Seasonal Color	Seasonal Color	4" Pots		NA	
880	V	Parthenocisus quinquefolia	Virginia creeper	1 Gal.		Y	18" O.C.

All plant material should be qualified using the ANSI Z60.1 standard for nursery stock

TENNESSEE BOARD OF REGENTS
TCAT HARTSVILLE - MAIN CAMPUS
 New Admin & Academic Bldg. and New Technical Bldg.
 716 McMurry Blvd E / Hartsville, TN 37074 | TENNESSEE BOARD OF REGENTS #166/050-01-2023




OWP PROJECT NO.	DATE OF ISSUE
2023_256	04/24/2024
PROJECT PHASE / ISSUED FOR	
Development Package	
REVISIONS	
DELTA DESCRIPTION	DATE
PROJECT TEAM	DRAWN BY
HIDDLESTON STEELE ENGINEERING, INC.	CHRIS GREGORY
SHEET CONTENTS / TITLE	
LANDSCAPE DETAILS	
L1.1	
AGENCY NO.	

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HARTSVILLE/TROUSDALE COUNTY

PLANNING OFFICE | CODES, ZONING, AND BUILDING

328 Broadway, Room 1 | Hartsville, TN 37074
office (615) 374-1125 | cell (615) 374-5066
htcgplanning@trousdalecountytn.gov

MK# 252
7-26-24


SITE PLAN APPLICATION - \$250.00

MINOR SUBDIVISION APPLICATION - \$250.00
(5 lots or less)

PLAT AMENDMENT APPLICATION - 200.00

MAJOR SUBDIVISION APPLICATION - \$500.00

PARCEL INFORMATION

Property Owner Trent Maasen Phone 

Property Address 680 River Valley CT City Hartsville TN Zip code 37074

Tax Map Number 27G Group B Parcel 27.00 Record/Deed Book _____

Subdivision Name Battlefield Phase _____ Lot# _____

Water Source City Sewer or Septic Sewer

APPLICANT INFORMATION

Applicant Name Trent Maasen Phone 

Mailing Address 260 Chase LN City Castalian Sprir TN Zip code 37031

Email 

 Applicant Signature 7/26/24 Date Submitted

IMPACT INFORMATION

Public Utilities Hartsville Water, Tri-County Electric

Affected Roads River Valley Dr

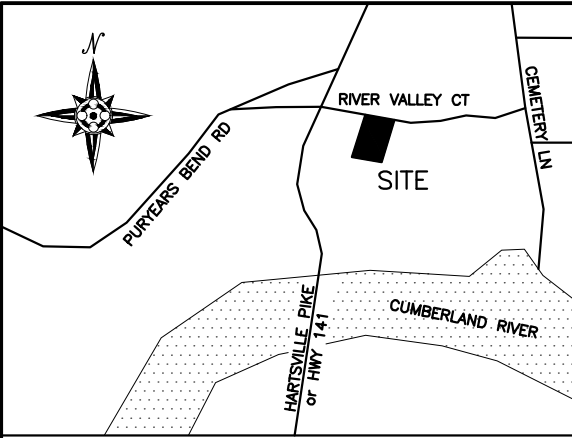
Schools Affected _____

ACTION TAKEN

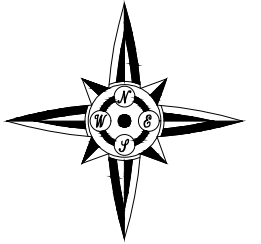
Reviewed by Planning Commission _____ Action _____

Passed _____ Failed (State Reason) _____

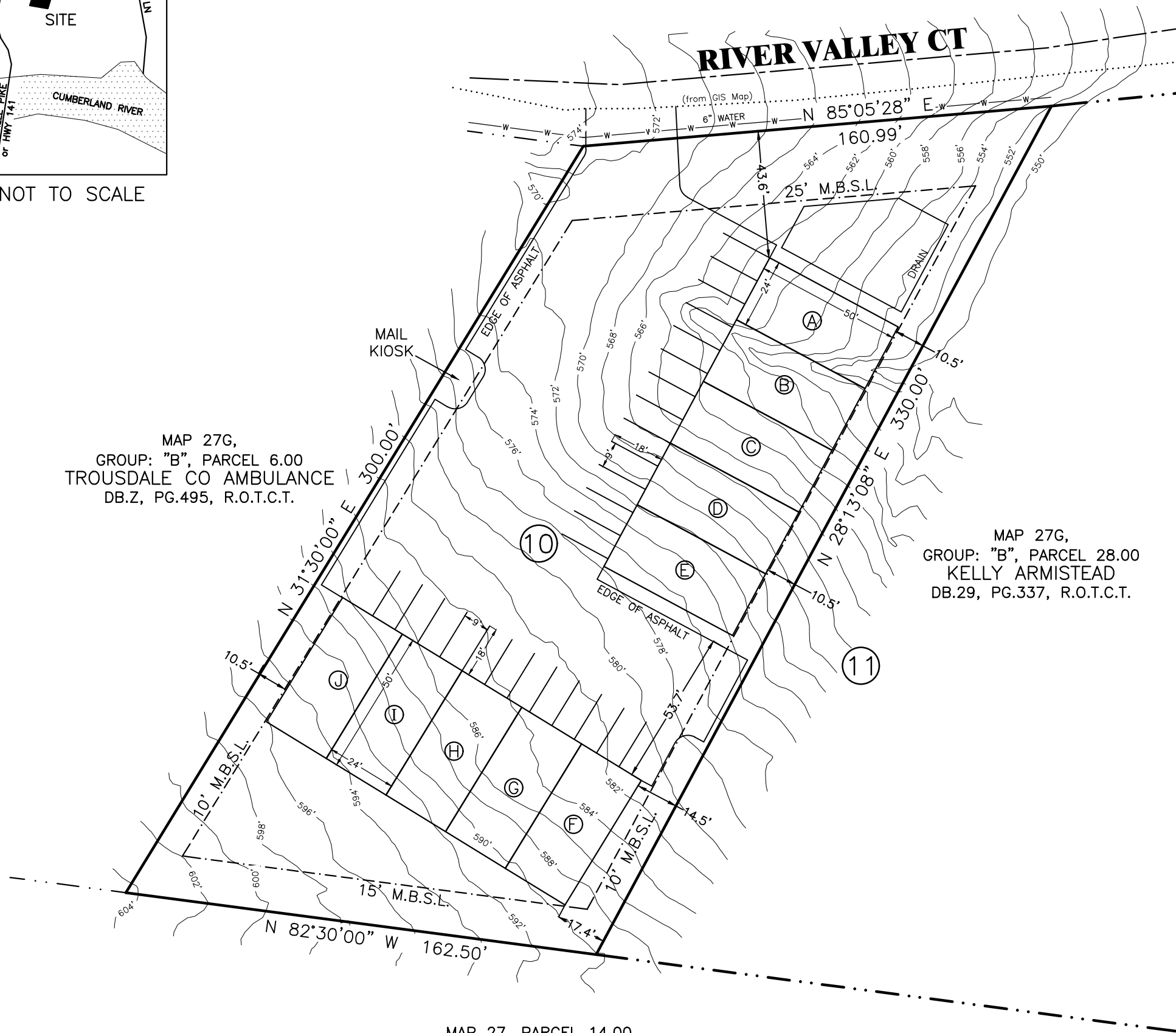
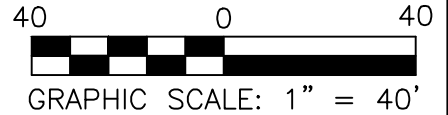
EXHIBIT



VICINITY MAP : NOT TO SCALE



SOURCE OF NORTH
TN STATE PLANE
(NAD 83)



MAP 27G,
GROUP: "B", PARCEL 6.00
TROUSDALE CO AMBULANCE
DB.Z, PG.495, R.O.T.C.T.

MAP 27G,
GROUP: "B", PARCEL 28.00
KELLY ARMISTEAD
DB.29, PG.337, R.O.T.C.T.

MAP 27, PARCEL 14.00
LOUISE TAYLOR
DB. RB64, PG.710, R.O.T.C.T.

PROPERTY OWNER: JUSTIN MAASEN
ADDRESS: 260 CHASE LANE
CASTALIAN SPRINGS, TN 37031

PROPERTY INFORMATION:
MAP 27G, GROUP: "B", PARCEL 27.00
RECORD BOOK 178, PAGE 39
ADDRESS: 680 RIVER VALLEY CT
HARTSVILLE, TN 37074
PLAT BOOK 1, PAGE 11, LOT 10

K&A Land Surveying

1012 Sparta Pike, Lebanon TN, 37087
Office Phone- 615-443-7796

DATE: JULY 29, 2024 JOB # 24-0000-4145

MR# 257
7-26-24

HARTSVILLE/TROUSDALE COUNTY

PLANNING OFFICE | CODES, ZONING, AND BUILDING

328 Broadway, Room 1 | Hartsville, TN 37074
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SITE PLAN APPLICATION - \$250.00

MINOR SUBDIVISION APPLICATION - \$250.00
(5 lots or less)

PLAT AMENDMENT APPLICATION - 200.00

MAJOR SUBDIVISION APPLICATION - \$500.00

PARCEL INFORMATION

Property Owner Tracey Langford Phone [REDACTED]

Property Address 126 Greentop Street City Hartsville TN Zip code 37074

Tax Map Number 027B Group D Parcel 11-15 (5 lots total) Record/Deed Book RB124/91, RB 123/62

Subdivision Name Tracey Langford & Angie Langford Phase _____ Lot# _____

Water Source Hartsville Sewer or Septic Hartsville

APPLICANT INFORMATION

Applicant Name Carman Surveying Phone [REDACTED]

Mailing Address 50 Linda Lane City Hartsville TN Zip code 37074

Email [REDACTED]

Jim Carman Digitally signed by Jim Carman
Date: 2024.07.26 08:33:14 -05'00'

07/26/2024

Applicant Signature

Date Submitted

IMPACT INFORMATION

Public Utilities HARTSVILLE WATER, TRU County Electric

Affected Roads GREENTOP St.

Schools Affected _____

ACTION TAKEN

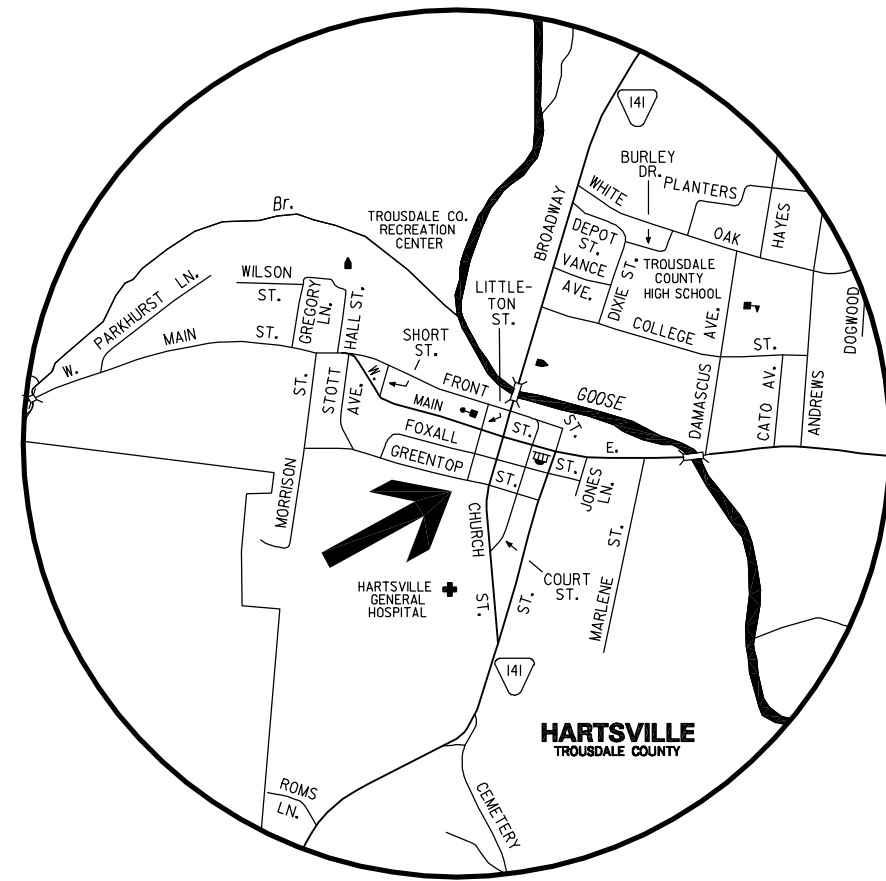
Reviewed by Planning Commission _____ Action _____

Passed _____ Failed (State Reason) _____

Reset Form

Save As

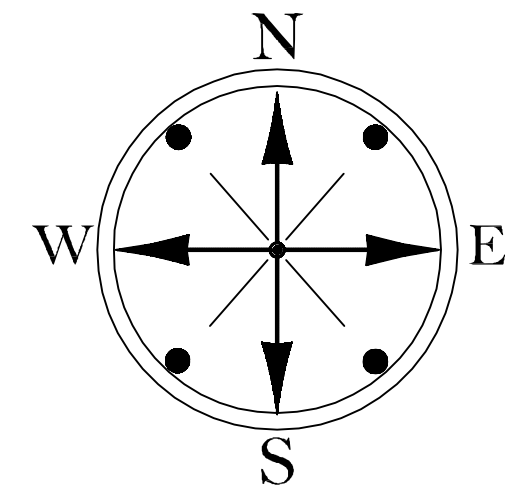
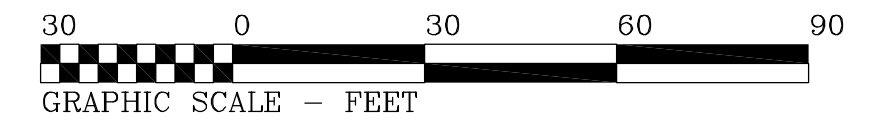
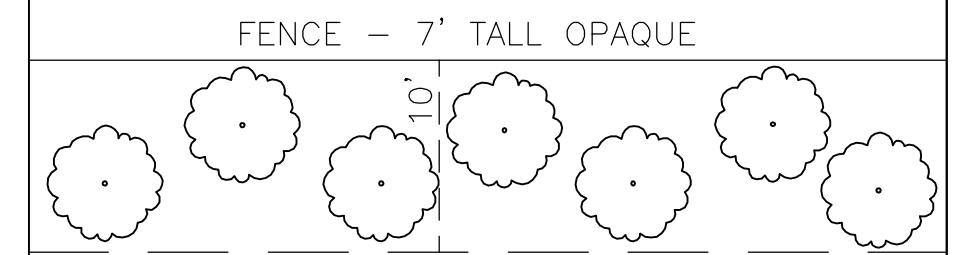
LOCATION SKETCH n.t.s.



SITE PLAN FOR
TRACEY LANGFORD
 AND WIFE
ANGIE LANGFORD
 LOCATED IN THE 7TH CIVIL DISTRICT OF TROUSDALE COUNTY, TENNESSEE

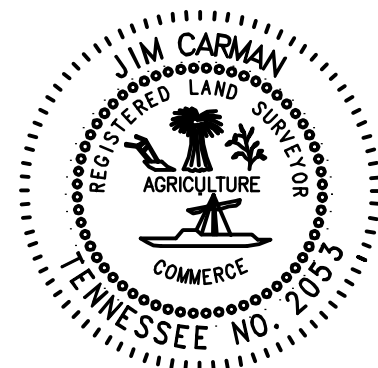
SCALE : 1" = 30'
 DATE : JULY 24, 2024
 SIZE : 49,277.6 SQ.FT.+
 DEED : R. B. 124, PG. 91, R.O.T.C.T.
 R. B. 123, PG. 626, R.O.T.C.T.
 R. B. 97, PG. 341, R.O.T.C.T.
 R. B. 97, PG. 339, R.O.T.C.T.
 R. B. 97, PG. 343, R.O.T.C.T.
 MAP : MAP 27-B, PARS. D-11.00, D-12.00,
 D-13.00, D-14.00 & D-15.00, T.A.O.T.C.T.

BUFFER AREA DETAIL



SMITH & VALENTINE
 RECORD BOOK 126, PAGE 728
 MAP 27B, PARCEL D-10.00

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THIS IS A CATEGORY 1
 SURVEY, AND THAT THE RATIO OF PRECISION OF
 THE UNADJUSTED SURVEY IS AT LEAST
 1 : 10,000 AS SHOWN HEREON.



CARMAN SURVEYING
 50 LINDA LANE
 HARTSVILLE, TENNESSEE
 PHONE: (615) 374-3344

JOHN C. MAXWELL
 RECORD BOOK 82, PAGE 124
 MAP 27, PARCEL 3.00

Curve	Radius	Tangent	Length	Delta	Chord	Chord Bear.
1	5754.70'	112.49'	224.94'	2°14'23"	224.93'	S 75°07'39" E

CHRISTY DONOHO
 RECORD BOOK 178, PAGE 531
 MAP 27-B, PARCEL D-18.00

**HARTSVILLE MISSIONARY
 BAPTIST CHURCH**
 DEED BOOK 39, PAGE 386
 MAP 27-B, PARCEL D-16.00

NOTES:

1. PROPERTY IS ZONED R-3.
2. 12 APARTMENT UNITS PROPOSED.
3. EACH UNIT TO HAVE A MINIMUM OF 2 PARKING PLACES.